


**City of Niagara Falls
New York**

TO: Eric Cooper
Director of Planning

FROM: Christopher Mazur 
Corporation Counsel

DATE: September 15, 2021

RE: *South End Gateway RFP*
(Purchase/Development Proposals for Planning Board Review)

As you know, the City received a number of proposals to purchase and develop of certain City-owned properties within the South End Gateway area. From those proposals, the City has selected the following:

1. **Power City Hospitality** – 455 4th Street;
2. **TM Montante** – 600 and 602 Niagara Street;
3. **Niagara Hospitality** – 466 4th Street, 511 4th Street, 519 4th Street, 535 4th Street, 422 6th Street, 441 6th Street, 447 6th Street, 456 6th Street, 460 6th Street 474 6th Street; and
4. **LSNY Holdings** – 541 4th Street.

With regard to the properties listed above, please refer the same to the Niagara Falls Planning Board for review and recommendation. Following Planning Board review, the purchase proposals will be forwarded to the City Council for further action.

If you have any questions, please contact me. Thank you for your courtesy and cooperation in this matter.

CMM/sk

Earthwork Specifications

EARTHWORK

Definition: "excavation" consists of removal of material encountered to subgrade elevations and subsequent disposal of materials removed.

JOB CONDITIONS

Site information: Data on indicated subsurface conditions are not intended as representative or warranties of accuracy. It is expressly understood that architect will not be responsible for interpretations or conclusions drawn therefore by owner or the builder.

Existing Utilities: Locate existing underground utilities in area of work. If utilities are to remain in place, provide adequate means of support and protection during earthwork operations.

Should uncharted or incorrectly charted piping or other utilities be encountered during excavation, consult utility owner immediately for directions. Cooperate with owner and utility companies in keeping respective services and facilities in operation. Repair damaged utilities to satisfaction of utility owner.

Demolish and remove completely from site existing underground utilities required to be removed. Coordinate with utility companies for shut-off of services if lines are active. Protection of Persons and Property: Barricade open excavations occurring as part of this work and post warning lights.

Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout and other hazards created by earthwork operations.

Perform excavation within drip-line of large trees to remain by hand, and protect the root system from damage or dry-out to the greatest extent possible. Maintain moist condition for root system and cover exposed roots with burlap. Paint root cuts of 1" diameter and larger with emulsified asphalt tree paint.

SOIL MATERIALS

Satisfactory soil materials are defined as those complying with 'ASTM D 2487' soil classification groups GW, GP, GM, SM, SW and SP.

Unsatisfactory soil materials are defined as those complying with 'ASTM D 2487' soil classification groups GC, SC, ML, MH, CL, CH, OL and PT.

Sub-base Material: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, crushed slag, natural or crushed sand.

Drainage Fill: washed, evenly graded mixture of crushed stone, or crushed or uncrushed gravel, with 100% passing a 1-1/2" sieve and not more than 5% passing a No. 4 sieve.

Backfill and Fill Materials: Satisfactory soil materials free of clay, rock or gravel larger than 2" in any dimension, debris, waste, frozen materials, vegetable and other deleterious matter.

EXCAVATION

Excavation is unclassified, and includes excavation to subgrade elevations indicated, regardless of character of materials and obstructions encountered.

Unauthorized excavation consists of removal of materials beyond indicated subgrade elevations or dimensions, unauthorized excavation, as well as remedial work shall be at Contractor's expense.

Under footings, foundation bases, or retaining walls, fill unauthorized excavation by extending indicated bottom elevation of footing or base to excavation bottom, without altering required top elevation. Lean concrete fill may be used to bring elevations to proper position.

Elsewhere, backfill and compact unauthorized excavations as specified for authorized excavations of same classification.

Additional Excavations: When excavation has reached required subgrade elevations, notify Architect/Engineer who will make an observation of conditions.

If unsuitable bearing materials are encountered at required subgrade elevations, carry excavations deeper and replace excavated materials with compacted stone or slag.

Stability of Excavation: Slope sides of excavations to comply with local codes and ordinances having jurisdiction. Shore and brace when sloping in not possible because of space restrictions or stability of material excavated.

Maintain sides and slopes of excavations in safe condition until completion of backfilling.

Dewatering: Prevent surface water and subsurface or ground water from flowing into excavations and from flooding project site and surrounding area.

Do not allow water to accumulate in excavations. Remove water to prevent softening of foundation bottoms, undercutting footings, and soil changes detrimental to stability of subgrades and foundations. Provide and maintain pumps, well points, sumps, suction and discharge lines, and other dewatering system components necessary to convey water away from excavations.

Establish and maintain temporary drainage ditches and other diversions outside excavation limits to convey rain water and water removed from excavations to collecting or run-off areas. Do not use trench excavations as temporary drainage ditches.

Material Storage: Stockpile satisfactory excavated materials, until required for backfill of fill. Place, grade and shape stockpiles for proper drainage.

Locate and retain soil materials away from edge of excavations. Do not store with drip-line of trees.

Dispose of excess soil material and waste materials.

Excavation for Structures: conform to elevations and dimensions shown with a tolerance of plus or minus 0.10' and extending a sufficient distance from footings and foundations to permit placing and removal of concrete formwork, installation of services, other construction, and for inspection.

In excavating for footings and foundations, take care not to disturb bottom of excavation. Trim bottoms to required lines and grades to leave soil base to receive other work.

Excavation for Trenches: Dig trenches to the uniform width required for particular items to be installed, sufficiently wide to provide ample working room. Provide 6" to 9" clearance on both sides of pipe or conduit.

Excavate trenches to depth required, carry depth of trenches for piping to establish indicated flow lines and invert elevations. Beyond building perimeter, keep bottoms of trenches sufficiently below finish grade to avoid freeze-ups.

Except as otherwise indicated, excavate for exterior water bearing piping (water, steam, condensate, drainage) so top of piping is not less than 3'-6" below finished grade.

Backfill trenches with concrete where trench excavations pass within 18" of column or wall footings and which are carried below bottom of such footings, or which pass under wall footings. Place concrete to level of bottom of adjacent footing.

Do not backfill trenches until tests and inspections have been made and backfilling authorized. Use core in backfilling to avoid damage or displacement of pipe systems.

For piping or conduit less than 2'-6" below surface of roadways, provide 4" thick concrete base slab support. After installation and testing of piping or conduit, provide minimum 4" thick encasement (sides and top) of concrete prior to backfilling or placement of roadway sub-base.

Cold Water Protection: Protect excavation bottoms against freezing when atmospheric temperature is less than 35oF (1oC).

COMPACTION

General: Control soil compaction during construction providing minimum percentage of density specified for each area classification indicated below.

Percentage of maximum Density Requirements: Compact soil to not less than the following percentages of maximum density for soils which exhibit a well-defined moisture density relationship (cohesive soils) determined in accordance with ASTM D 1557± and not less than the following percentages of relative density determined in accordance with ASTM D 2049, for soils which will not exhibit a well-defined moisture-density relationship (cohesionless soils).

Structures, Building Slabs and Steps, Pavements: Compact top 12" of subgrade and each layer of backfill or fill material at 90% maximum density for cohesive material or 95% relative density for cohesionless material.

Lawn or Unpaved Areas: Compact top 6" of subgrade and each layer of backfill or fill material at 85% maximum density for cohesive materials and 90% relative density for cohesionless soils.

Walkways: Compact top 6" of subgrade and each layer of backfill or fill material at 90% maximum density for cohesive material or 95% relative density for cohesionless material.

Moisture Control: Where subgrade or layer of soil material must be moisture conditioned before compaction, uniformly apply water to surface of subgrade, or layer of soil material. Apply water in manner to prevent free water appearing on surface during or subsequent to compaction operations.

Remove and replace, or scarify and air dry, soil material that is to wet to permit compaction to specified density.

Soil material that has been removed because it is too wet to permit compaction may be stockpiled or spread and allowed to dry. Assist drying by discing, harrowing or pulverizing until moisture content is reduced to a satisfactory value.

BACKFILL AND FILL

General: Place acceptable soil material in layers to required subgrade elevations, for each area classification listed below.

In excavations, use satisfactory excavated or borrow material.

Under grassed areas, use satisfactory excavated or borrow material.

Under walkways and pavements, use subbase material or use satisfactory excavated or borrow material, or combination of both.

Under steps, use subbase material.

Under building slabs, use drainage fill material.

Under piping and conduit, use subbase material where subbase is indicated under piping or conduit ± shape to fit bottom 90o of cylinder.

Backfill excavations as promptly as work permits, but not until completion of the following:

Acceptance of construction below finish grade including, where applicable, dampproofing, waterproofing, and perimeter insulation.

Inspection, testing, approval, and recording locations of underground utilities.

Removal of concrete formwork.

Removal of shoring and bracing, and backfilling of voids with satisfactory materials. Cut off temporary sheet piling driven below bottom of structure and remove in manner to prevent settlement of the structure or utilities, or leave in place if required.

Removal of trash and debris.

Permanent or temporary horizontal bracing is in place on horizontally supported walls.

Ground Surface Preparation: Remove vegetation, debris, unsatisfactory soil materials, obstructions, and deleterious materials from ground surface prior to placement of fills. Plow, strip, or break-up sloped surfaces steeper than 1 vertical to 4 horizontal so that fill material will bond with existing surface.

When existing ground surface has a density less than that specified under 'Compaction' for particular area classification, break up ground surface, pulverize, moisture-condition to optimum moisture content, and compact to required depth and percentage of maximum density.

Placement and Compaction: Place backfill and fill materials in layers not more than 8" in loose depth for material compacted by heavy compaction equipment, and not more than 4" in loose depth for material compacted by hand-operated tampers.

Before compaction, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum dry density or relative dry density for each area classification. Do not place backfill or fill material on surfaces that are muddy, frozen, or contain frost or ice.

Place backfill and fill materials evenly adjacent to structures, piping or conduit to required elevations. Take care to prevent wedging action of backfill against structures or displacement of piping or conduit by carrying material uniformly around structure, piping or conduit to approximately same elevation in each lift.

GRADING

General: Uniformly grade areas within limits of grading under this section, including adjacent transition areas. Smooth finished surface within specified tolerances, compact with uniform levels or slopes between points where elevations are indicated, or between such points and existing grades.

Grading Outside Building Lines: Grade areas adjacent to building lines to drain away from structures and to prevent ponding.

Finish surfaces free from irregular surface changes, and as follows:

Lawn or Unpaved Areas: Finish areas to receive topsoil to within not more than 0.10' above or below subgrade elevation.

Walks: Shape surface of areas under walks to line, grade and cross-section, with finish surface not more than 0.10' above or below required subgrade elevation.

Pavements: Shape surface of areas under pavements to line, grade and cross-section, with finish surface not more than 1/2" above or below required subgrade elevation.

Grading Surfaces of Fill Under Building Slabs: Grade smooth and even, free of voids, compacted as specified, and to required elevation. Provide final grades within a tolerance of 1/2" when tested with a 10' straightedge.

Compaction: After grading, compact subgrade surfaces to the depth and indicated percentage of maximum or relative density for each area classification.

MAINTENANCE

Protection of Graded Areas: Protect newly graded areas from traffic and erosion. Keep free of trash and debris.

Repair and re-establish grades in settled, eroded, and rutted areas to specified tolerances.

Reconditioning Compacted Areas: Where completed compacted areas are disturbed by subsequent construction operations or adverse weather, scarify surface, re-shape, and compact to required density prior to further construction.

Settling: Where settling is measurable or observable at excavated areas during general project warranty period, remove surface (pavement, lawn or other finish), add backfill material, compact, and replace surface treatment. Restore appearance, quality, and condition of surface or finish to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

DISPOSAL OF EXCESS AND WASTE MATERIALS

Removal from Owner's Property: Remove waste materials, including unacceptable excavated material, trash and debris, and dispose of it off Owner's property.

General Earthwork Notes

- IT IS ASSUMED THAT THE SOIL BEARING LEVEL HAS A RESISTIVE CAPACITY ACCEPTABLE FOR RESIDENTIAL STRUCTURE LOADINGS PER TABLE SRM401.4.1 WITH 1,500 PSF LOAD BEARING PRESSURE. THE LOWEST ALLOWED IN-LIEU OF FULL GEOTECHNICAL REPORT, IF ADVERSE CONDITIONS ARE ENCOUNTERED AT THE TIME OF EXCAVATION, A GEOTECHNICAL ENGINEER MUST PERFORM SOIL TESTING AS REQUIRED TO VERIFY THE ACTUAL SOIL BEARING CAPACITY IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE COMPENSATION AS AGREED UPON FOR ANY REQUIRED TESTS.
- THE ARCHITECT RECOMMENDS THE OWNER HAVE A GEOTECHNICAL SURVEY DONE TO ASSURE HER / HIMSELF THAT THE SITE IS SUITABLE FOR CONSTRUCTION OF THE PROPOSED BUILDING.

General Nailing Schedule

GENERAL NOTE:
NAILING REQUIREMENTS PER 2020 RCNYS TABLE 602.3(1) FASTENING SCHEDULE -
ACCEPTABLE ALTERNATIVES PER TABLE NOT LISTED BELOW MAY BE USED.

TABLE NO. / CONNECTION	NAILING ¹	NOTE
1. BLOCKING BETWEEN CEILING JOIST OR RAFTERS TO TOP PLATE	3-8d TOE NAIL	
2. CEILING JOISTS TO TOP PLATE	3-8d PER JOIST, TOE NAIL	
3. CEILING JOISTS, LAPS OVER PARTITIONS	3-16d FACE NAIL	
4. CEILING JOISTS ATTACHED TO PARALLEL RAFTERS (HEEL JOINT)	SEE IRC TABLE R802.5.1(9)	
5. COLLAR TIE TO RAFTER	3-10d FACE NAIL EA. RAFTER	
6. RAFTER OR ROOF TRUSS TO PLATE	3-10d	2
7. ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS	3-10d TOE NAIL 2-16d END NAIL	
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d @ 24"o.c. FACE NAIL	
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d @ 16"o.c. FACE NAIL	
10. BUILT-UP HEADER [2" TO 2" HEADER W/ 1/2" SPACER]	16d @ 16"o.c. EACH EDGE FACE NAIL	
11. CONTINUOUS HEADER TO STUD	4-8d - TOE NAIL	
12. TOP PLATE TO TOP PLATE	16d @ 16"o.c. FACE NAIL	
13. DOUBLE TOP PLATE SPLICE	8-16d FACE NAIL	3
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d @ 16"o.c. FACE NAIL	
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANELS)	2-16d - 2 EACH @ 16"o.c. FACE NAIL	
16. TOP OR BOTTOM PLATE TO STUD	4-8d TOE NAIL 2-16d END NAIL	
17. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2-16d FACE NAIL	
18. 1" BRACE TO EACH STUD AND PLATE	2-8d FACE NAIL	
19. 1" x 6" SHEATHING TO EACH BEARING	2-8d FACE NAIL	
20. 1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d FACE NAIL	
21. JOIST TO SILL, TOP PLATE OR GIRDER	3-8d TOE NAIL	
22. RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE	8d @ 6" O.C. TOE NAIL	3
23. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d FACE NAIL	
24. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d BLIND & FACE NAIL	
25. 2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-16d AT EACH BEARING FACE NAIL	
26. BAND OR RIM JOIST TO JOIST	3-16d END NAIL	
27. BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d	4
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d FACE NAIL	
29. BRIDGING TO JOIST	2-10d EA. END, TOE NAIL	
WOOD STRUCTURAL PANELS, PLYWOOD AND PARTICLEBOARD		
30. 3/8" - 1/2" SUBFLOOR AND WALL	6d	5
31. 1/2" ROOF	8d	
32. 1" - 1 1/8" - 1 1/4"	10d	
STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING		
33. 1/2"	ROOFING NAIL	6
34. 5/8"		

- NOTES:
- COMMON NAILS TO BE USED EXCEPT WHERE OTHERWISE NOTED.
 - 2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS.
 - FACE NAIL ON EACH SIDE OF END JOINT (MIN. 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT).
 - NAIL EACH LAYER AS FOLLOWS: 32"o.c. AT TOP AND BOTTOM AND STAGGERED AND FACE NAIL AT ENDS AND AT EACH SPLICE.
 - 6"o.c. SPACING AT EDGES AND 12"o.c. SPACING AT INTERMEDIATE SUPPORTS. SEE IRC TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING).
 - CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1-3/4" LENGTH FOR 25/32" SHEATHING.

Structural Design Criteria

	ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
	SLEEPING ROOMS	30 PSF
LIVE LOADS	STAIRS	40 PSF
	BALCONIES AND DECKS	40 PSF
	UNINHABITED ATTIC SPACE	30 PSF
SNOW LOAD	GROUND SNOW LOAD	PG = 50 PSF
	FLAT ROOF SNOW LOAD	PF = 50 PSF
	SNOW EXPOSURE FACTOR	CE = 1.0
	SNOW IMPORTANCE FACTOR	IS = 1.0
	THERMAL FACTOR	CT = 1.0
	BASIC WIND SPEED	V = 115 MPH
WIND DESIGN	WIND IMPORTANCE FACTOR	IW = 1.0
	OCCUPANCY CATEGORY	II
	EXPOSURE CATEGORY	B
	INTERNAL PRESSURE COEFFICIENT	GCP1 = 0.18
	COMPONENT AND CLADDING DESIGN PRESSURE	12.22 PSF (14.86 END ZONES)
SEISMIC DESIGN	SEISMIC IMPORTANCE FACTOR	IE = 1.0
	OCCUPANCY CATEGORY	II
	SITE CLASS	D
	SEISMIC DESIGN CATEGORY	B
	BASIC SEISMIC FORCE RESISTING SYSTEM	BEARING WALL SYSTEMS LIGHT FRAMED WALLS WITH WOOD STRUCTURAL PANELS RATED FOR
	SHEAR RESISTANCE	CS = 0.116
	DESIGN BASE SHEAR	V = 5.65 (E/W)
	(WIND AND SEISMIC GOVERNED)	V = 7.875 (N/S)
	ANALYSIS PROCEDURE	EQUIVALENT
	LATERAL FORCE PROCEDURE	PER ASCE 7 SEC. 12.8

Fireblocking Requirements

PER THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, SECTION R302.1.1, THE CONTRACTOR IS RESPONSIBLE TO ENSURE FIREBLOCKING IS PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING WILL BE PROVIDED IN ALL LOCATIONS REQUIRED BY CODE.

Header Schedule

GENERAL NOTE:
HEADER REQUIREMENTS PER 2020 RCNYS TABLE 602.7(1) & TABLE 602.7(2)

HEADERS SUPPORTING	WALL TYPE/ THICKNESS	MAX. SPAN PER BUILDING WIDTH			HEADER SIZE	NO. OF JACK STUDS
		20'	28'	36'		
ROOF AND CEILING	EXTERIOR/ 3 1/2"	4'-8" 5'-11" 7'-3" 8'-5"	4'-1" 5'-2" 6'-3" 7'-3"	3'-8" 4'-7" 5'-7" 6'-6"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	1/ 2@36' 2 2 2
	EXTERIOR/ 5 1/2"	7'-5" 9'-1" 10'-7"	6'-5" 7'-10" 9'-2"	5'-9" 7'-0" 8'-2"	(3) 2x8 (3) 2x10 (3) 2x12	1@20'/ 2 2 2
ROOF, CEILING & ONE CENTER-BEARING FLOOR	EXTERIOR/ 3 1/2"	4'-1" 5'-2" 7'-4"	3'-7" 4'-6" 6'-5"	3'-3" 4'-1" 5'-9"	(2) 2x6 (2) 2x8 (2) 2x12	1@20'/ 2 2 2/ 3@36'
	EXTERIOR/ 5 1/2"	6'-5" 7'-11" 9'-2"	5'-8" 6'-11" 8'-0"	5'-1" 6'-3" 7'-3"	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2
ROOF, CEILING & ONE CLEAR-SPAN FLOOR	EXTERIOR/ 3 1/2"	3'-10" 4'-10" 5'-11" 6'-10"	3'-4" 4'-2" 5'-1" 5'-11"	3'-0" 3'-9" 4'-7" 5'-4"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	2 2 2 2@20'/ 3
	EXTERIOR/ 5 1/2"	6'-5" 7'-11" 9'-2"	5'-8" 6'-11" 8'-0"	5'-1" 6'-3" 7'-3"	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2
ROOF, CEILING & TWO CENTER-BEARING FLOORS	EXTERIOR/ 3 1/2"	3'-8" 4'-7" 5'-8" 6'-6"	3'-2" 4'-0" 4'-11" 5'-9"	2'-10" 3'-8" 4'-5" 5'-2"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	2 2 2/ 3@36' 2@20'/ 3
	EXTERIOR/ 5 1/2"	5'-9" 7'-1" 8'-2"	5'-1" 6'-2" 7'-2"	4'-7" 5'-7" 6'-5"	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2/ 3@36'
ONE FLOOR ONLY	INTERIOR/ 3 1/2"	3'-0" 3'-10" 4'-8" 5'-5"	2'-7" 3'-4" 4'-0" 4'-8"	2'-3" 2'-11" 3'-7" 4'-2"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	2 2/ 3@36' 2@20'/ 3 3
	EXTERIOR/ 5 1/2"	4'-9" 5'-10" 6'-9"	4'-1" 5'-0" 5'-10"	3'-8" 4'-6" 5'-3"	(3) 2x8 (3) 2x10 (3) 2x12	2 2/ 3@36' 2@20'/ 3
TWO FLOORS	INTERIOR/ 3 1/2"	4'-6" 5'-9" 7'-0" 8'-1"	3'-11" 5'-0" 6'-1" 7'-0"	3'-6" 4'-5" 5'-5" 6'-3"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	1 1@20'/ 2 2 2
	INTERIOR/ 5 1/2"	7'-2" 8'-9" 10'-2"	6'-3" 7'-7" 8'-10"	5'-7" 6'-9" 7'-10"	(3) 2x8 (3) 2x10 (3) 2x12	1/ 2@36' 1@20'/ 2 2
	INTERIOR/ 3 1/2"	3'-2" 4'-1" 4'-11" 5'-9"	2'-9" 3'-6" 4'-3" 5'-0"	2'-5" 3'-2" 3'-10" 4'-5"	(2) 2x6 (2) 2x8 (2) 2x10 (2) 2x12	2 2 2/ 3@36' 2@20'/ 3
	INTERIOR/ 5 1/2"	5'-1" 6'-2" 7'-2"	4'-5" 5'-4" 6'-3"	3'-11" 4'-10" 5'-7"	(3) 2x8 (3) 2x10 (3) 2x12	2 2 2/ 3@36'

- NOTES:
- FOR CONDITIONS NOT SHOWN CONTACT ARCHITECT.
 - NO. 1 OR BETTER GRADE LUMBER SHALL BE USED FOR SOUTHERN PINE. OTHER TABULATED VALUES ASSUME #2 GRADE LUMBER.
 - BUILDING WIDTH IS MEASURED PERPENDICULAR TO THE RIDGE. FOR WIDTHS BETWEEN THOSE SHOWN, SPANS ARE PERMITTED TO BE INTERPOLATED.
 - WHERE THE NUMBER OF JACK STUDS EQUALS (1), THE HEADER IS PERMITTED TO BE SUPPORTED BY AN APPROVED FRAMING ANCHOR ATTACHED TO THE FULL HEIGHT WALL STUD AND TO THE HEADER.
 - REFER TO KING STUDS AT HEADERS SCHEDULE FOR FULL HEIGHT STUDS AT EXTERIOR WALLS INFORMATION.

Header Support Schedule

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALL REQUIREMENTS PER 2020 RCNYS TABLE 602.7.5		
HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16 O.C.	24 O.C.
≤ 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

- NOTE:
- THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH 4-16d NAILS.

Site Location



Drawing List

- A-1 Project Information, Notes, Legends & Specifications

Foundation Specifications

CONCRETE WORK

Material Certification: Provide materials certification in lieu of materials laboratory test reports. Material certificates shall be signed by manufacturer and contractor, certifying that each material item complies with, or exceeds, specified requirements. Provide certification from admixture manufacturers that chloride content complies with specification requirements.

QUALITY ASSURANCE

Codes and Standards: Comply with provisions of the following codes, specifications, and standards, except where more stringent requirements are shown or specified:

ACI 318 "Building Code Requirements for Reinforced Concrete".

Concrete Reinforcing Steel Institute (CRSI), "Manual of Standard Practice".

PROJECTS CONDITIONS

Protection of Footings Against Freezing: Cover completed work at footing level with sufficient temporary or permanent cover as required to protect footings and adjacent subgrade against possibility of freezing; maintain cover for time period as necessary.

Protect adjacent finish materials against spatter during concrete placement.

PRODUCTS

REINFORCING MATERIALS

Reinforcing Bars: ASTM A 615, Grade 60, deformed.

Welded Wire Fabric: ASTM A 185, welded steel wire fabric.

Supports for Reinforcement: Bolsters, chairs, spacers and other devices for spacing, supporting and fastening reinforcing bars and welded wire fabric in place. Use wire bare type supports complying with CRSI specifications.

CONCRETE MATERIALS:

Portland Cement: ASTM C 150: Type 1.

Fly-Ash: ASTM C 618, Type C or Type F.

Normal Weight Aggregates: ASTM C 33, and as herein specified. Provide aggregates from a single source for exposed concrete.

For exterior exposed surfaces, do not use fine or coarse aggregates containing spalling-causing deleterious substances.

Local aggregates not complying with ASTM C 33 but which have shown by special test or actual service to produce concrete of adequate strength and durability may be used when acceptable to Authority having jurisdiction.

Water: Drinkable.

Air-Entraining Admixture: ASTM C 260, certified by manufacturer to be compatible with other required admixtures.

Water-Reducing Admixture: ASTM C 494, Type A, and containing not more than 0.1 percent chloride ions.

Prohibited Admixtures: Calcium chloride thioyanate or admixtures containing more than 0.1 percent chloride ions are not permitted.

RELATED MATERIALS

Waterstops: Provide flat, dumbbell type or center bulb type waterstops at construction joints and other joints as indicated size to suit joints.

Rubber Waterstops: Corps of Engineers CRD-C 113.

Polyvinyl Chloride Waterstops: Corps of Engineers CRD-C 572.

Granular Base: Evenly graded mixture of fine and coarse aggregates to provide, when compacted, a smooth and even surface below slabs on grade.

Vapor Retarder: Provide vapor retarder cover over prepared base material where indicated below slabs on grade. Use only materials which are resistant to decay when tested in accordance with ASTM E 154, as follows:

Polyethylene sheet not less than 8 mils thick.

Non-Shrink Grout: CRD-C 621, factory pre-mixed grout.

Absorptive Cover: Burlap cloth made from jute or kenaf, weighing approximately 9oz. per square yard, complying with AASHTO M 182, Class 2.

Moisture-Retaining Cover: One of the following, complying with ASTM C 171.

Waterproof paper.

Polyethylene film.

Polyethylene-coated burlap.

Compound: Polyvinyl acetate or acrylic base.

Epoxy Adhesive: ASTM C 881, two component material suitable for use on dry or damp surfaces. Provide material "Type", "Grade", and "Class" to suit project requirements.

PROPORTIONING AND DESIGN OF MIXES

Prepare design mixes for each type and strength of concrete by either laboratory trial batch or field experience methods as specified in ACI 301. If trial batch method used, use an independent testing facility acceptable to Architect for preparing and reporting proposed mix designs. The testing facility shall not be the same as used for field quality control testing.

Limit use of fly ash to not exceed 25 percent of cement content by weight.

Design mixes to provide normal weight concrete with the following properties, as indicated on drawings and schedules:

4000psi 28-day compressive strength W/C ratio, 0.44 maximum (non air-entrained), 0.35 maximum (air-entrained).

3000psi 28-day compressive strength W/C ratio, 0.58 maximum (non air-entrained), 0.46 maximum (air-entrained).

2500psi 28-day compressive strength W/C ratio, 0.61 maximum (non air-entrained), 0.54 maximum (air-entrained).

Adjustment to Concrete Mixes: Mix design adjustments may be requested by Contractor when characteristics of materials, job conditions, weather, test results, or other circumstances warrant at no additional cost to Owner and as accepted by Architect. Laboratory test data for revised mix design and strength results must be submitted to and accepted by Architect before using in work.

Admixtures: Use water-reducing admixture or high range water-reducing admixture (super plasticizer) in concrete as required for placement and workability.

Use non-chloride accelerating admixture in concrete slabs placed at ambient temperatures below 50 deg F (10 deg C).

Use admixtures for water-reducing and set-control in strict compliance with manufacturer's directions.

Slump Limits: Proportion and design mixes to result in concrete slump at point of placement as follows:

Reinforced foundation system: Not less than 1" and not more than 3".

EXECUTION

FORMS

Design, erect, support, brace and maintain formwork to support vertical and lateral, static, and dynamic loads that might be applied until such loads can be supported by concrete structure. Construct formwork so concrete members and structures are correct size, shape, alignment, elevation and position. Maintain formwork construction tolerances complying with ACI 347.

Construct forms to sizes, shapes, lines and dimensions shown, and to obtain accurate alignment, location, grades, level and plumb work in finished structures. Provide for openings, offsets, sinkages, keyways, recesses, blocking, screeds, bulkheads, anchorages and inserts, and other features required in work. Use selected materials to obtain required finishes. Solidify butt joints and provide back-up of joints to prevent leakage of cement paste.

Provisions for Other Trades: Provide openings in concrete formwork to accommodate work of other trades. Determine size and location of openings, recesses and chases from trades providing such items. Accurately place and securely support items built in forms.

Cleaning and Tightening: Thoroughly clean forms and adjacent surfaces to receive concrete. Remove chips, wood, sawdust, dirt or other debris just before concrete is placed. Retightening forms and bracing after concrete placement is required to eliminate mortar leaks and maintain proper alignment.

VAPOR RETARDER INSTALLATION

Following leveling and tamping of granular base for slabs on grade, place vapor retarding sheeting with longest dimension parallel with direction of pour.

Lap joints 6' and seal with appropriate tape. B

After placement of moisture barrier, cover with granular material and compact to depth shown on drawings.

PLACING REINFORCEMENT

Comply with Concrete Reinforcing Steel Institute's recommended practice for "Placing Reinforcing Bars", for details and methods of reinforcement placement and supports.

Clean reinforcements of loose rust and mill scale, earth, ice, and other materials which reduce or destroy bond with concrete.

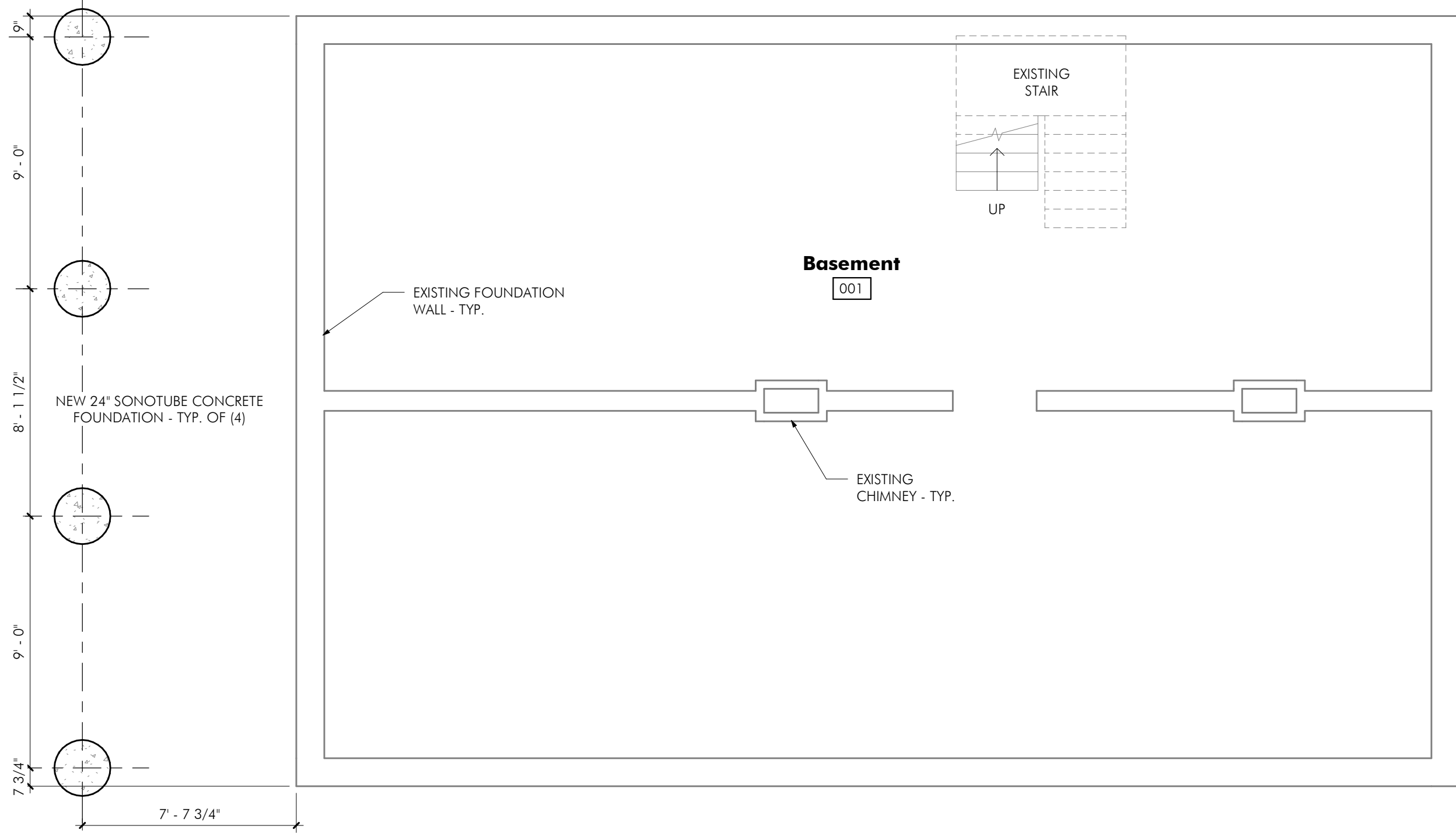
Accurately position, support and secure reinforcement against displacement by formwork, construction, or concrete placement operations. Locate and support reinforcing by metal chairs, runners, bolsters, spacers, and hangers. As required.

Place reinforcement to obtain at least minimum coverage for concrete protection. Arrange, space and securely tie bars and bars supports to hold reinforcement in position during concrete placement operations. Set wire ties so ends are directed into concrete, not toward exposed concrete surfaces.

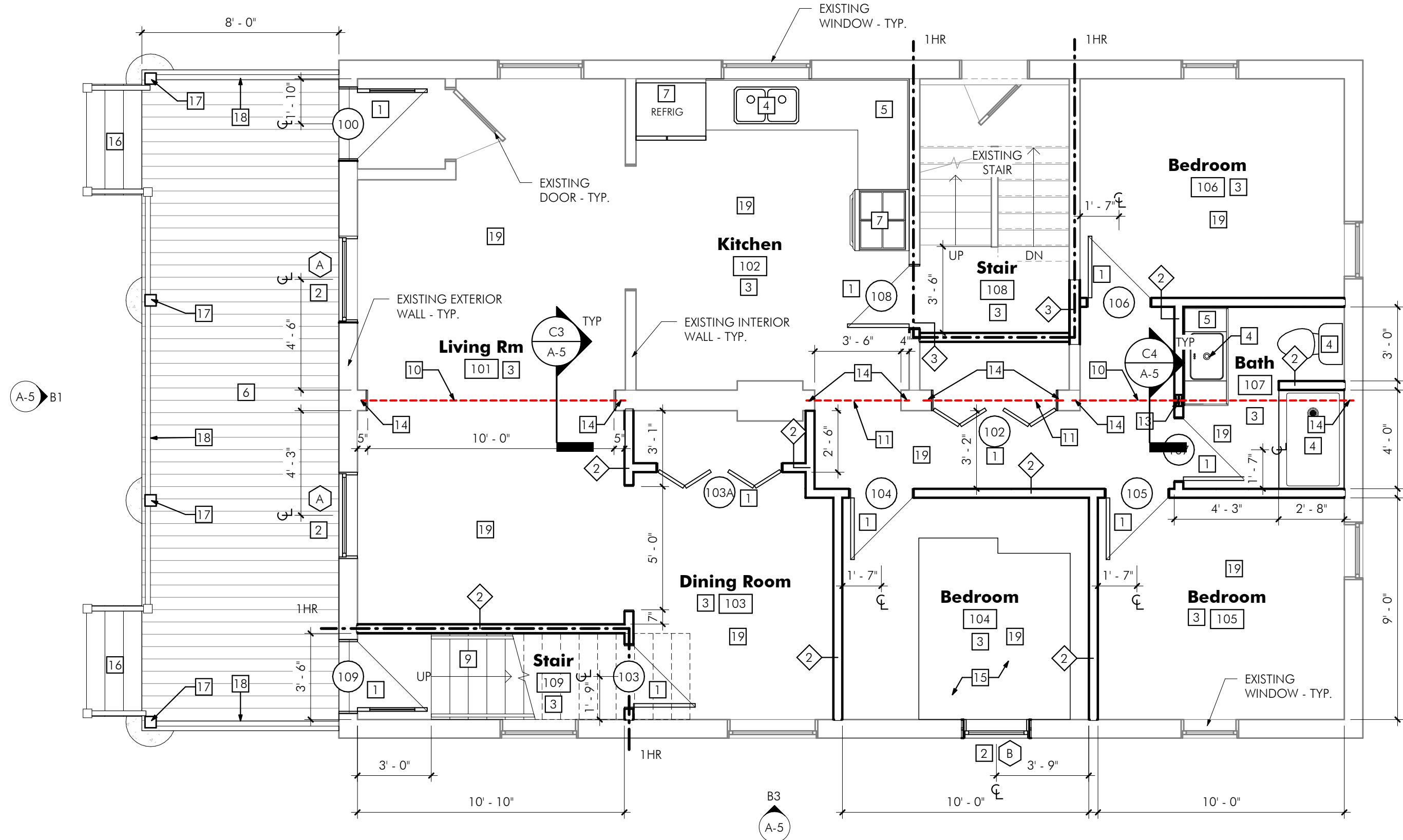
Install welded wire fabric in as long lengths as practicable. Lap adjoining pieces at least one full mesh and lace splices with wire. Offset end laps in adjacent widths to prevent continuous laps in either direction.

Waterstops: Fabricate field joints in waterstops in accordance with manufacturer's printed instructions.

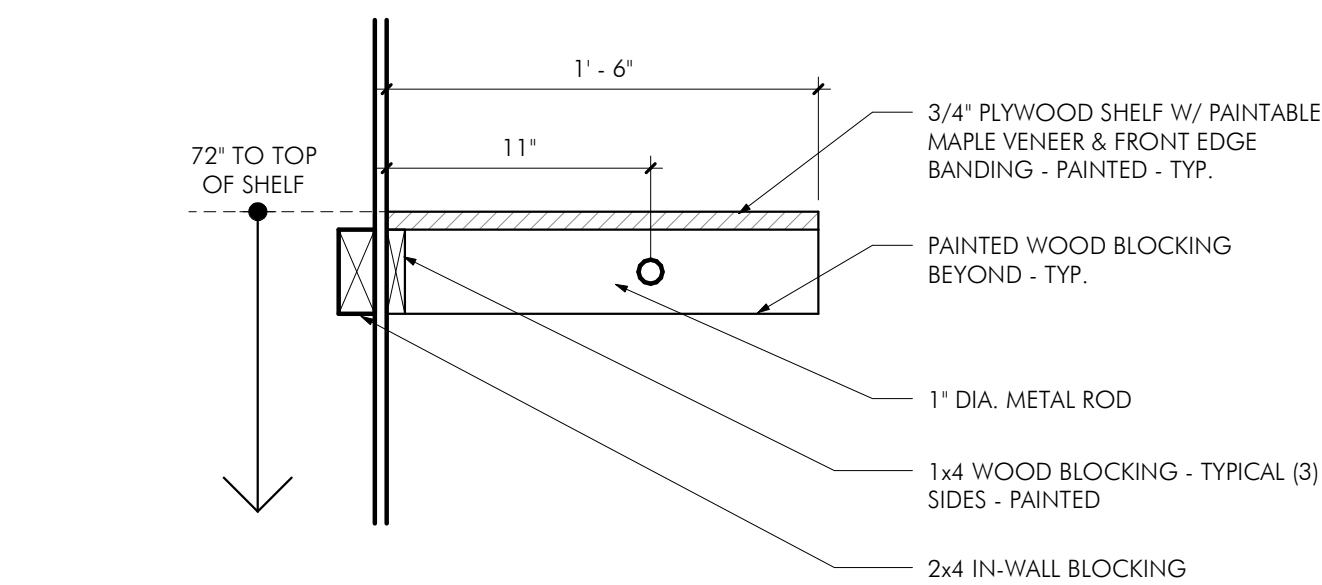
Contraction (Control) Joints in Slab-on-Ground: Construct contraction joints in slab-on-ground to form panels of patterns as shown. Use saw cuts 1/8"x1/4 slab depth of inserts 1/4" wide x 1/4 of slab depth, unless otherwise indicated.



B2 Basement Plan
1/4" = 1'-0" B1 A-5



C2 First Floor Plan
1/4" = 1'-0" B1 A-5



D2 Casework Section
1 1/2" = 1'-0"

Third Floor Occupancy

- THE EXISTING THIRD FLOOR LEVEL ISN'T CURRENTLY LEGALLY OCCUPIED THEREFORE IT MUST MEET THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE FOR NEW CONSTRUCTION.
- PER 2020 RCNYS SECTION AJ801 ADDITIONS AS WITH THE REMAINDER OF THE DWELLING, THE THIRD FLOOR OCCUPIED SPACE HAS BEEN DESIGNED TO MEET THE FOLLOWING REQUIREMENTS:
 - SMOKE ALARMS HAVE BEEN CALLED FOR IN ALL LOCATIONS AS REQUIRED FOR NEW DWELLINGS THAT ARE BOTH INTERCONNECTED IN ACCORDANCE WITH SECTION R314.4 AND POWERED PER AJ801.5.1.1.
 - CARBON MONOXIDE ALARMS HAVE BEEN CALLED FOR IN ALL LOCATIONS AS REQUIRED FOR NEW DWELLINGS.
- THE THIRD FLOOR ABOVE GRADE CAN BE CREATED UTILIZING A LIMITED AREA SPRINKLER SYSTEM AS LONG AS ALL THE REQUIREMENTS OF 2020 RCNYS SECTION AJ801.3.3 ARE MET.
 - THE LIMITED AREA SPRINKLER SYSTEM CALLED FOR IS TO MEET THE REQUIREMENTS OF NFPA 13D OR SECTION P2904. REFER TO FIRE PROTECTION NOTES ON MEP-COORDINATION PLANS. SEPARATE SPRINKLER DRAWINGS MUST BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO WORK ON THE INSTALLATION OF THE SPRINKLER SYSTEM BEGINNING.
 - THE FINISHED SPACE IS PROVIDED WITH A SECOND MEANS OF EGRESS. THE EXISTING FRONT WINDOWS IN LOUNGE 301 MEET THE REQUIREMENTS OF AN EGRESS WINDOW. THE NEW SECOND FLOOR PORCH IS 11'-9" BELOW THE SILL OF THIS OPENING.
 - THE ENTIRE DWELLING IS EQUIPPED WITH SMOKE ALARMS MEETING THE REQUIREMENTS OF 2020 RCNYS SECTION R314.7 AND THESE UNITS ARE MONITORED BY AN APPROVED SUPERVISING STATION IN ACCORDANCE WITH NFPA 72. THE HOMEOWNER HAS BEEN NOTIFIED THAT THEIR CURRENT SECURITY SYSTEM THAT HAS INTERCONNECTIVITY TO THE SMOKE ALARMS MUST HAVE A MONITORING SERVICE ADDED AND THAT THIRD FLOOR OCCUPANCY CANNOT BE APPROVED UNTIL PROOF OF SERVICE IS PROVIDED.

Construction Notes

- NEW DOOR - REFER TO DOOR SCHEDULE - REFER TO HEADER SCHEDULE- TYP.
- NEW WINDOW - REFER TO WINDOW SCHEDULE - REFER TO HEADER SCHEDULE - TYP.
- NEW FLOOR, WALL & CEILING FINISHES - REFER TO FINISH NOTES.
- NEW PLUMBING FIXTURE - REFER TO MEP COORDINATION PLAN & PLUMBING NOTES.
- NEW CASEWORK & COUNTER - TO BE COORDINATED DIRECTLY WITH OWNER FOR CONTRACTOR INSTALLATION.
- NEW DECKING ON 2x8 WOOD DECKING @ 16" O.C. MAX. - REFER TO TYPICAL DETAILS FOR LEDGER LAGGED TO EXISTING STRUCTURE.
- NEW KITCHEN APPLIANCE - REFER TO MEP COORDINATION PLAN & APPLIANCE NOTES.
- NEW WOOD FRAMED STAIR - REFER TO TYPICAL STAIR DETAIL.
- LINE OF NEW (3) 1-3/4" x 11-7/8" 1.9E MICROLAM LVL BEAM ABOVE - BEAM TO BE ENCASED IN GWB ENCLOSURE - REFER TO TYPICAL DETAIL.
- LINE OF NEW (2) 1-3/4" x 9-1/4" 1.9E MICROLAM LVL BEAM ABOVE - BEAM TO BE ENCASED IN GWB ENCLOSURE - REFER TO TYPICAL DETAIL.
- LINE OF NEW (3) 1-3/4" x 14" 1.9E MICROLAM LVL ABOVE - BEAM TO BE ENCASED IN GWB ENCLOSURE - REFER TO TYPICAL DETAIL.
- (2) 2x6 POST AT MID SPAN OF NEW BEAM - TYP.
- POCKET BRICK WALL AS REQUIRED FOR NEW STRUCTURAL MEMBER - 4" MINIMUM BEARING AT BOTH ENDS OF BEAM - TYP.
- AREA OF NEW FLOOR INFILL - PLYWOOD SUBSTRATE ON 2x8 WOOD FRAMING @ 16" O.C. MAX.
- NEW WOOD FRAMED STEPS.
- NEW 6x6 FT WOOD POST - COORDINATE WITH OWNER IF DECORATIVE ENCLOSURE IS TO BE PROVIDED.
- NEW WOOD GUARD RAIL - PAINTED - CORRDINATE STYLE & FINISH WITH OWNER.
- PATCH & REPAIR EXISTING PLASTER CEILING AS REQUIRED FOR 1HR HORIZONTAL SEPARATION BETWEEN FIRST & SECOND FLOOR APARTMENTS.
- AREA OF NEW FLOOR INFILL - PLYWOOD SUBSTRATE ON 2x8 WOOD FRAMING @ 16" O.C. MAX. - PROVIDE 5/8" TYPE "X" GWB CEILING - COMPLETES 1HR HORIZONTAL SEPARATION BETWEEN FIRST & SECOND FLOOR APARTMENTS. - FLOOR TO MEET REQUIREMENTS FOR 1 HR FIRE RATING.
- NEW WINDOW - REFER TO WINDOW SCHEDULE - REFER TO HEADER SCHEDULE- TYP.
- NEW EGRESS DOOR - REFER TO DOOR SCHEDULE - REFER TO HEADER SCHEDULE- TYP.

Door Schedule & Notes

- BASIS OF DESIGN FOR EXTERIOR DOORS TO BE PELLA INSULATED CORE FIBERGLASS EXTERIOR DOORS. FINISH COLOR PER FINISH SCHEDULE. ALL GLAZING IN EXTERIOR DOORS TO BE MANUFACTURERS DUAL PANE, INSULATED, LOW-E, ARGON FILLED.
- ALL INTERIOR SWING DOORS ARE TO BE SOLID CORE WOOD UNLESS OTHERWISE NOTED. PAINTED FINISH COLOR PER FINISH SCHEDULE.
- DOORS AND CASINGS SHALL BE APPROVED BY OWNER PRIOR TO ORDERING.
- LOCKSET MANUFACTURE AND FUNCTIONS SHALL BE DETERMINED BY OWNER/ CONTRACTOR AGREEMENT. PROVIDE ALL STANDARD HINGES, FLOOR OR WALL STOPS AT ALL DOORS, AND APPROVED DOOR HANDLE FOR OPENING FUNCTION. AT EXTERIOR DOORS ALSO PROVIDE GASKETS & SWEEPS. ALL DOORS SHALL INCLUDE HARDWARE APPROPRIATE TO LOCATION AND USE.
- NO HARDWARE WILL BE ORDERED UNTIL FINAL APPROVAL FROM OWNER IS PROVIDED. BASIS OF DESIGN IS BALDWIN RESERVE TUBE SATIN NICKEL LEVER WITH CONTEMPORARY ROUND ROSE.

DOOR	TYPE	SIZE (WxH)	REMARKS
100	EXTERIOR HALF-GLASS INSULATED FIBERGLASS DOOR	34"x84"	PROVIDE COORDINATED SCREEN DOOR
102	INTERIOR DOUBLE BI-FOLD LOUVER DOORS	60"x66"	CENTER ON CLOSET WIDTH
103	INTERIOR FLUSH WOOD DOOR	30"x84"	
103A	INTERIOR DOUBLE BI-FOLD LOUVER DOORS	60"x84"	CENTER ON CLOSET WIDTH
104	INTERIOR FLUSH WOOD DOOR	30"x84"	
105	INTERIOR FLUSH WOOD DOOR	30"x84"	
106	INTERIOR FLUSH WOOD DOOR	30"x84"	
107	INTERIOR FLUSH WOOD DOOR	30"x84"	
109	EXTERIOR HALF-GLASS INSULATED FIBERGLASS DOOR	34"x84"	
201	INTERIOR FLUSH WOOD INSULATED DOORGLASS DOOR	30"x84"	CENTER ON HALL WIDTH
202	INTERIOR FLUSH WOOD DOOR	30"x84"	CENTER ON CLOSET WIDTH
203	INTERIOR FLUSH WOOD DOOR	30"x84"	CENTER ON HALL WIDTH
204	INTERIOR FLUSH WOOD DOOR	30"x84"	
205	INTERIOR FLUSH WOOD DOOR	30"x84"	
206	INTERIOR FLUSH WOOD DOOR	30"x84"	
207	EXTERIOR HALF-GLASS INSULATED FIBERGLASS DOOR	34"x80"	PROVIDE COORDINATED SCREEN DOOR
302	INTERIOR FLUSH WOOD DOOR	30"x80"	
303	INTERIOR FLUSH WOOD DOOR	30"x80"	
304	INTERIOR FLUSH WOOD DOOR	30"x80"	
305	INTERIOR DOUBLE BI-FOLD LOUVER DOORS	60"x66"	CENTER ON CLOSET WIDTH
305A	INTERIOR DOUBLE BI-FOLD LOUVER DOORS	60"x66"	CENTER ON CLOSET WIDTH
306	INTERIOR FLUSH WOOD DOOR	30"x36"	EGRESS HATCH
307	INTERIOR FLUSH WOOD DOOR	30"x36"	EGRESS HATCH

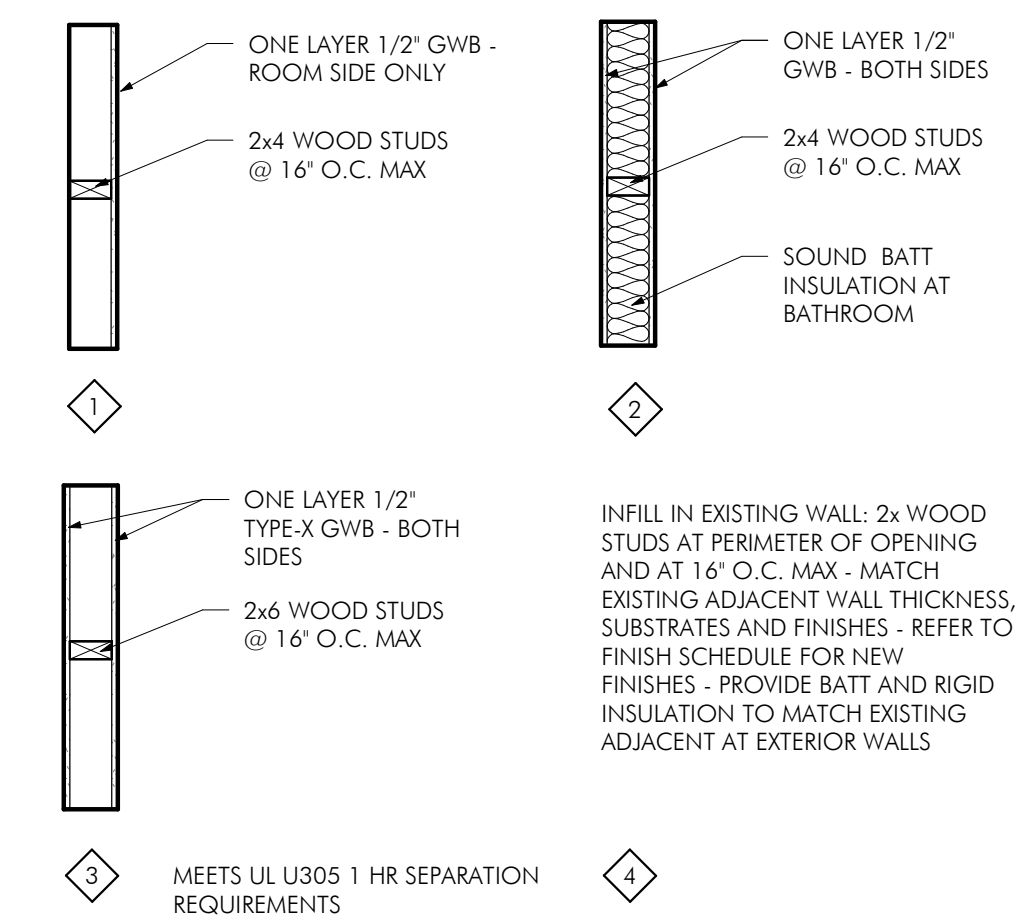
General Finish Notes

- ALL FINAL FINISH SELECTIONS SHALL BE COORDINATED WITH THE WISHES OF THE OWNER. PAINTED WOOD TRIM TO BE POPLAR - EITHER PURCHASED PRE-PRIMED OR PRIMED BEFORE INSTALLATION - FINISH COLOR TO BE APPLIED IN FIELD. STAINED WOOD TRIM IS TO BE A SPECIES TO MATCH EXISTING. ALL MANUFACTURERS INSTALLATION GUIDELINES WILL BE FOLLOWED FOR ALL FINISH MATERIALS.
- PROVIDE SCHLUTER KERDI WATER-PROOFING MEMBRANE SYSTEM BEHIND/BELOW ALL TILE FLOOR AND BASE FINISHES AND 6" UP WALL AT WALL TILE.

General Construction Notes

- ALL WORK SHALL MEET THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, INCLUDING ALL REFERENCE DOCUMENTS, THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE, AND ALL APPLICABLE MUNICIPAL REQUIREMENTS. THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE LATEST VERSION OF RESCHECK COMPLIANCE PROGRAM.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE MECHANICAL, ELECTRICAL AND PLUMBING DESIGNS BY THE INDIVIDUAL TRADES. REMOVE AND/OR REROUTE ANY MECHANICAL, ELECTRICAL OR PLUMBING FOUND IN WALLS TO BE REMOVED. COORDINATE ALL RE-ROUTING / TERMINATIONS WITH OWNER & ARCHITECT. ALL MECHANICAL, ELECTRICAL AND PLUMBING TRADE WORK SHALL MEET ALL REQUIREMENTS OF THE BUILDING CODES OF NEW YORK STATE AND ALL APPLICABLE MUNICIPAL REQUIREMENTS.
- ALL CONTRACTORS WORKING ON THE PROJECT SHALL BE LICENSED IN THE CITY / TOWN / VILLAGE AND IN GOOD STANDING WITH ALL APPLICABLE PERMITTING DEPARTMENTS, OFFICES, OR GOVERNING BODY. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES. THE PROJECT MAY INVOLVE PHASING OF CONSTRUCTION WORK SO AS NOT TO DISRUPT ACTIVITIES AROUND THE CONSTRUCTION SITE. THE CONTRACTOR IS TO FAMILIARIZE HERSELF WITH THESE REQUIREMENTS AND THOSE FOR OPERATING AROUND THE PREMISES OF THE BUILDING IF ANY.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS. WHERE REQUIRED, ALL MASONRY AND CMU PATCHING IS TO BE TOOTHED IN AND NOT ABUTTED USING BRICKS SALVAGED FROM EXISTING MATERIALS AS REQUIRED FOR PATCHING AND NEW CONSTRUCTION. IF SALVAGED QUANTITIES ARE NOT SUFFICIENT FOR PROPOSED NEW CONSTRUCTION, THEN NEW MATERIALS ARE TO MATCH EXISTING MATERIALS IN COLOR AND TEXTURE.
- NEW WORK SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION ADJACENT EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED. PATCH ALL FLOOR, WALL AND CEILING AREAS, ETC. AFFECTED BY NEW CONSTRUCTION. THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ALL DIMENSIONS ARE TO THE FINISHED FACE OF SURFACES UNLESS OTHERWISE NOTED. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR STRUCTURAL OR REMOVAL TASKS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY ENCOUNTER WITH SUSPECTED HAZARDOUS MATERIALS. DO NOT REMOVE EXISTING HAZARDOUS MATERIAL.
- PAINT ALL AREAS OF CONSTRUCTION. ALL COLORS OF EXPOSED FINISH MATERIALS ARE TO BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO ORDERING MATERIALS. ALL MILLWORK AND/OR SHELVING SHALL BE SCRIBED TO FIT NEW AND ADJACENT SURFACES. ALL DETAILS, SECTIONS, MATERIALS, METHODS, ETC SHOWN AND/OR NOTED ON THE DRAWINGS SHALL APPLY TO ALL OTHER SIMILAR LOCATION UNLESS NOTED OTHERWISE.
- OWNER IS RESPONSIBLE FOR ANY ZONING ISSUES.

Wall Types



BASIS OF DESIGN FOR - PROVIDE THE FOLLOWING OR APPROVED EQUAL:

ABOVE GRADE IN-WALL INSULATION:
CLOSED CELL SPRAY FOAM - R-VALUE PER NOTED ON INDIVIDUAL WALL TYPE.

WHERE BATT INSULATION CAN BE PROVIDED OR IS CALLED FOR: OWENS CORNING ECOTOUCH PINK FIBERGLASS INSULATION BATT WITH KRAFT FACE BACKING - R-VALUE PER NOTED ON INDIVIDUAL WALL TYPE.

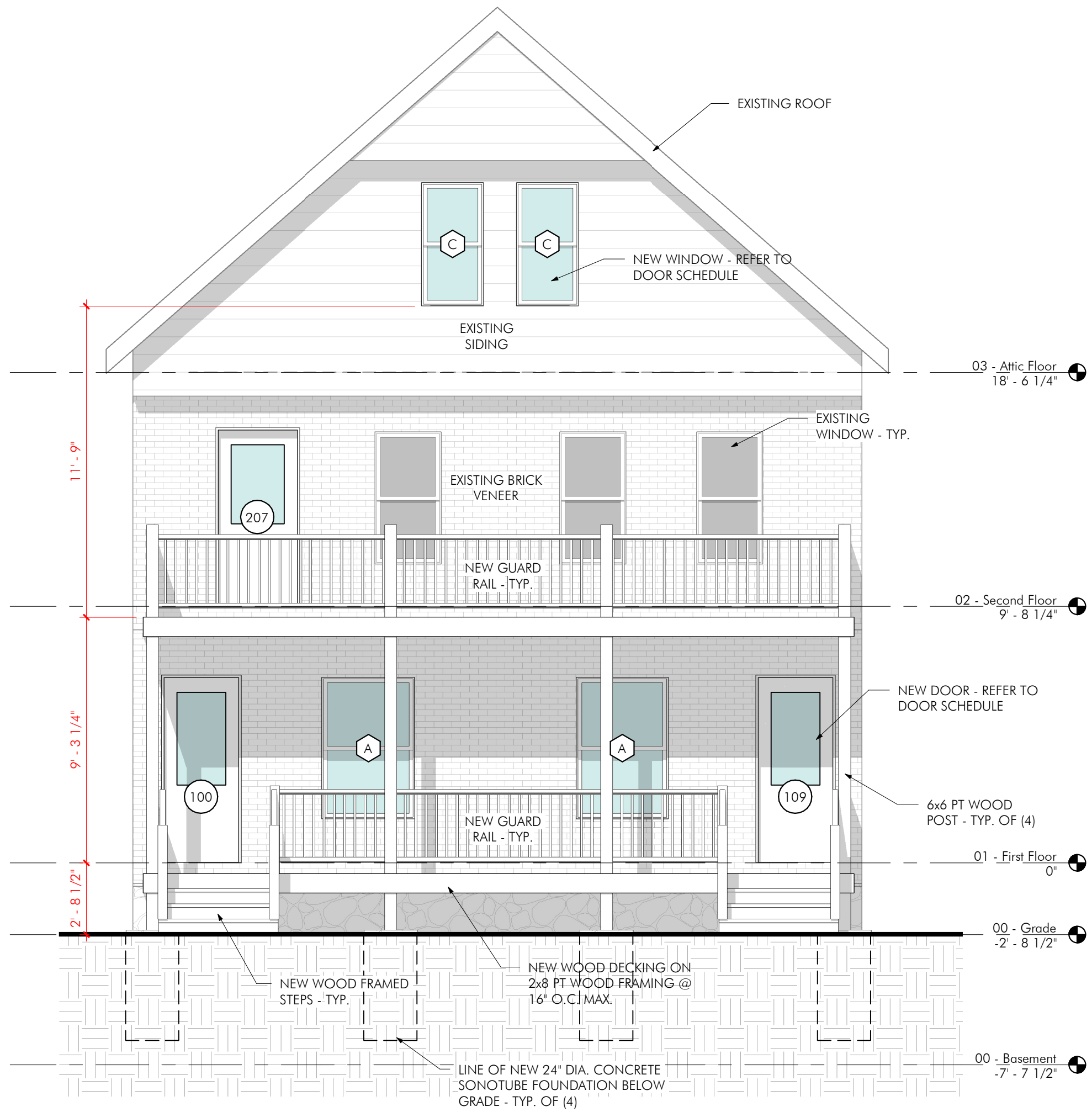
WEATHER BARRIER (IF REQUIRED):
HARDIEWRAP WEATHER BARRIER - PROVIDE PRO-FLASHING OR FLEX-FLASHING AT WINDOWS, DOORS AND CORNERS.

Window Schedule & Notes

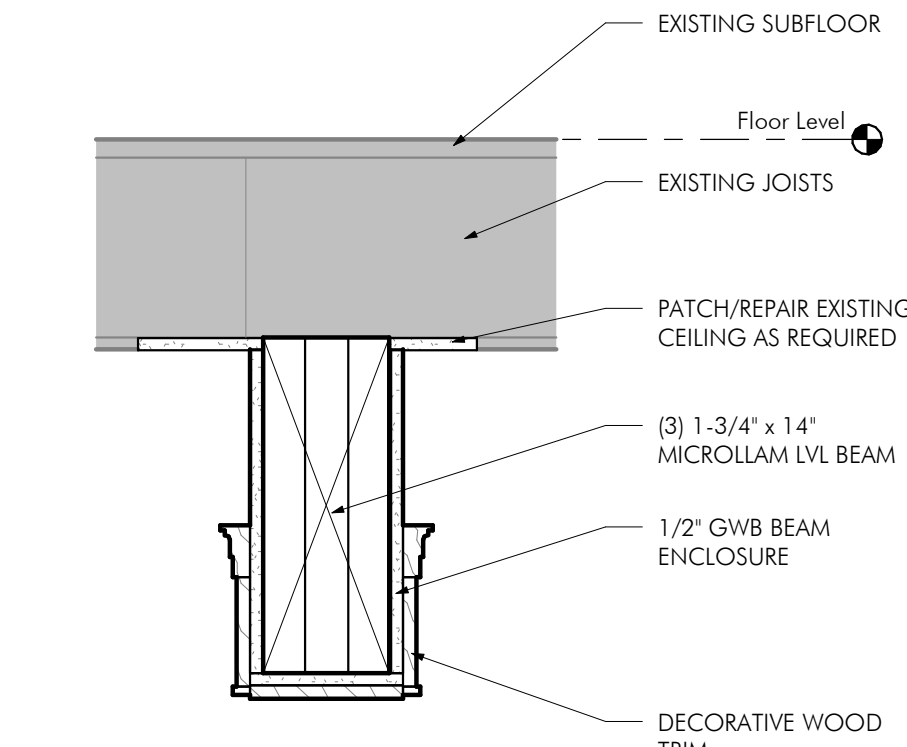
- FINAL APPROVAL OF WINDOWS SHALL BE BY OWNER. WINDOW DESIGNS BASED ON PELLA LIFESTYLE SERIES WINDOWS. DIMENSIONS ARE FOR UNIT, CONTRACTOR TO COORDINATE REQUIRED MINIMUM ROUGH OPENING SIZE.
- GLAZING SHALL BE WINDOW MANUFACTURERS DUAL PANE, INSULATED, LOW-E, ARGON FILLED. EXTERIOR WINDOW INSULATED GLASS: UNLESS OTHERWISE NOTED U-FACTOR 0.27
- ALL NEW CASINGS:
INTERIOR PER ROOM FINISH SCHEDULE
EXTERIOR SHALL BE WOOD
- WINDOW UNITS TO BE NEW CONSTRUCTION TYPE COMPLETE WITH INTEGRAL EXTERIOR WEATHER SEAL TRIM.
- HEAD HEIGHT 7'-0" AFF UNLESS OTHERWISE NOTED.
- EGRESS WINDOWS TO MEET MINIMUM CLEAR OPENING OF 24"(HO), 20"(W) & 5.7SF TOTAL. BATHROOM WINDOW SHALL HAVE A MINIMUM GLAZING AREA OF 3SF, OF WHICH ONE-HALF MUST BE OPERABLE.

WINDOW	TYPE	SIZE (WHT)	REMARKS
A	DOUBLEHUNG	42"x64"	
B	DOUBLEHUNG	32"x56"	6'-10" HEAD HEIGHT
C	DOUBLEHUNG	28"x56"	EGRESS WINDOW

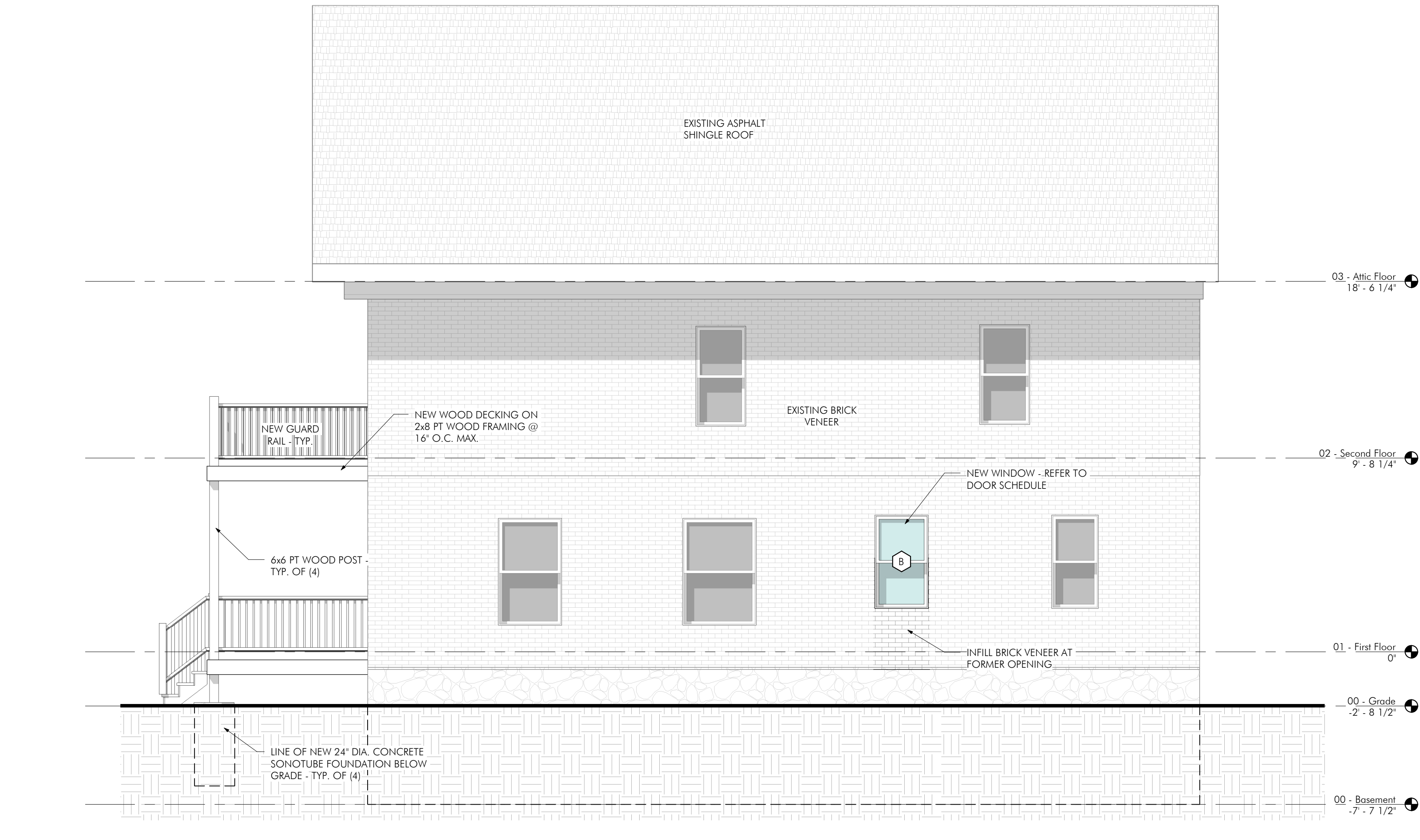
7/1/2021 3:02:54 PM P:\P21033 455 4th Street - Short Term Rental Renovation\RT\P21033 455 4th Street - Short Term Rental Renovation.rvt
The design concepts, construction drawings and details presented herein are the sole property of Abstract Architecture PC. Any reproduction or other use of this information without the written consent of Abstract Architecture PC is prohibited. This document is for informational purposes only. It is not to be used for construction. For documents marked with a red stamp located in the boundaries of the infitblock of a drawing sheet marked with the company name - Abstract Architecture PC - No digital representation of a seal will be considered acceptable.



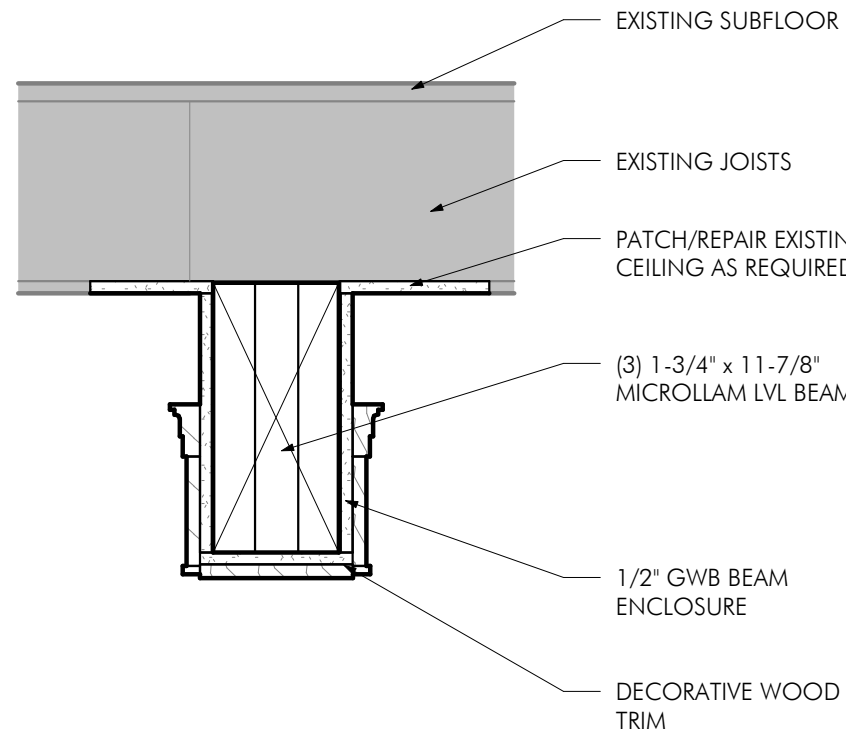
B1 West Elevation
1/4" = 1'-0" C2 A-3



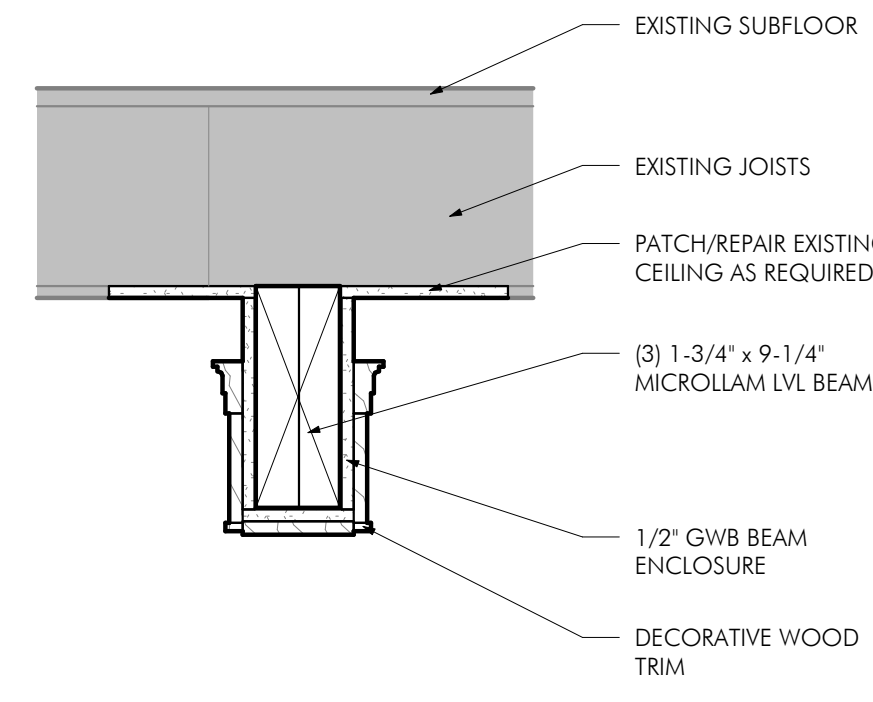
C2 Framing Detail
1 1/2" = 1'-0" B2 A-4



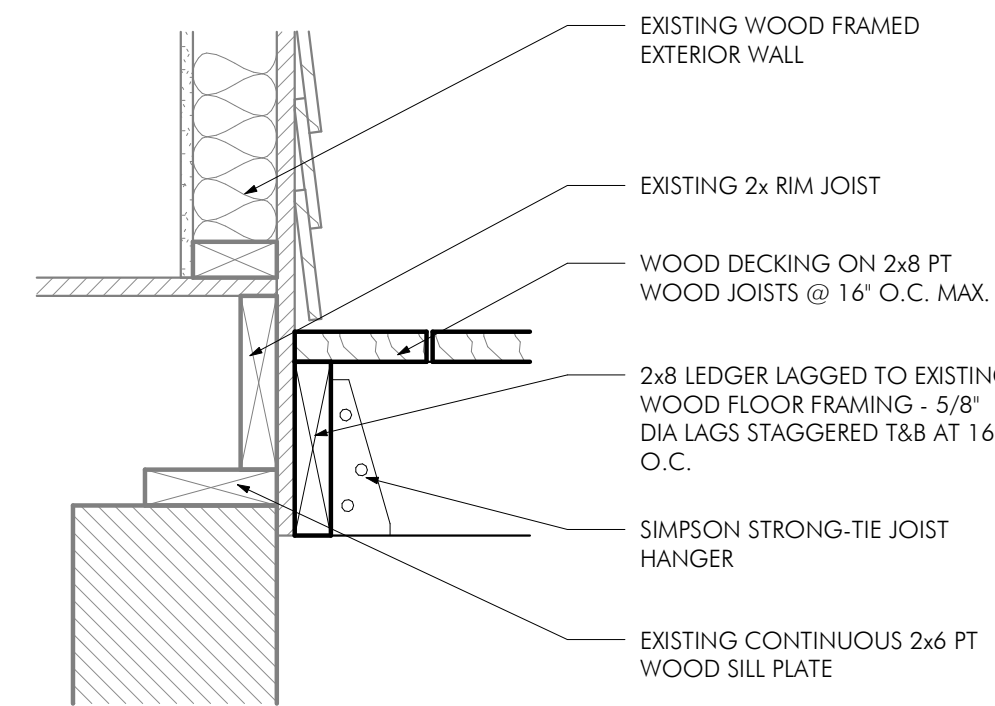
B3 South Elevation
1/4" = 1'-0" C2 A-3



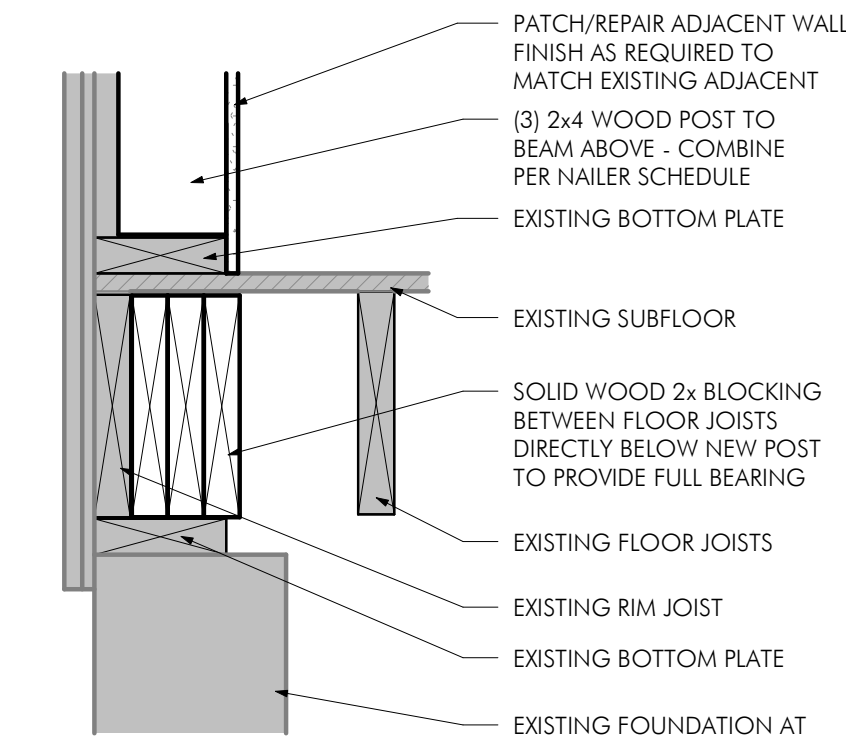
C3 Framing Detail
1 1/2" = 1'-0" C2 A-3



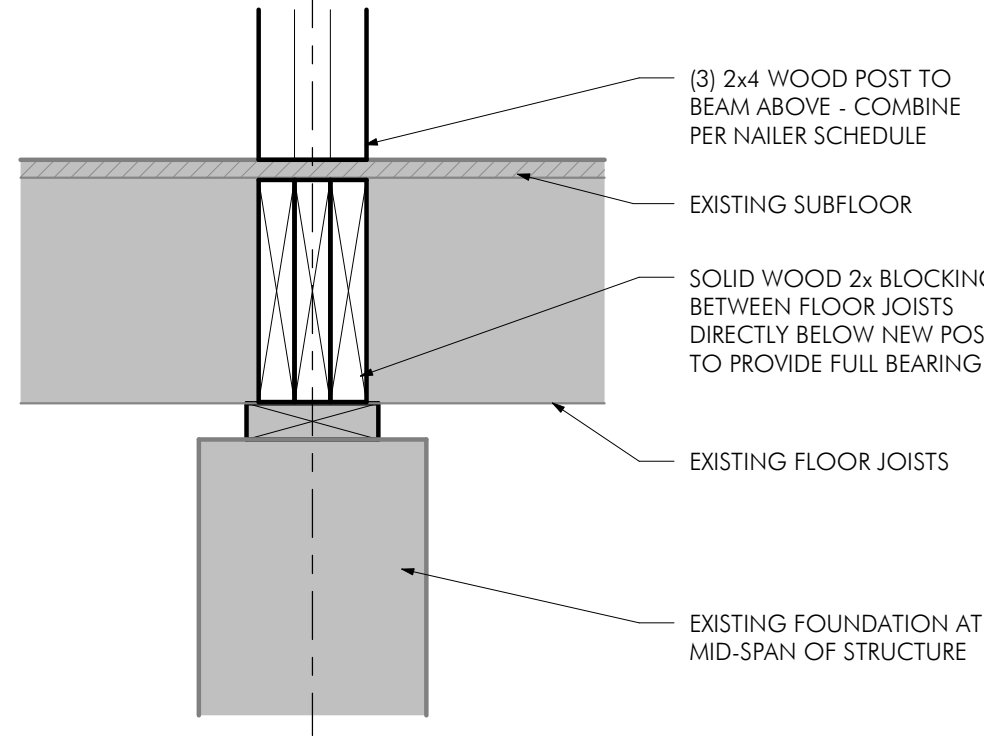
C4 Framing Detail
1 1/2" = 1'-0" C2 A-3



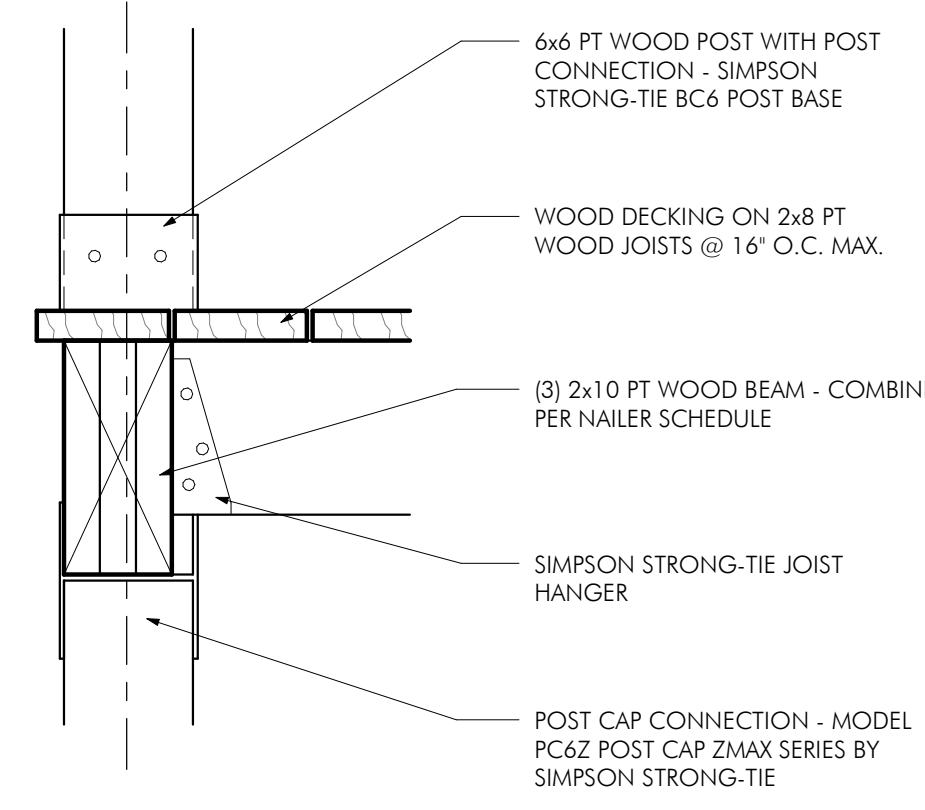
C5 Deck Framing Detail
1 1/2" = 1'-0"



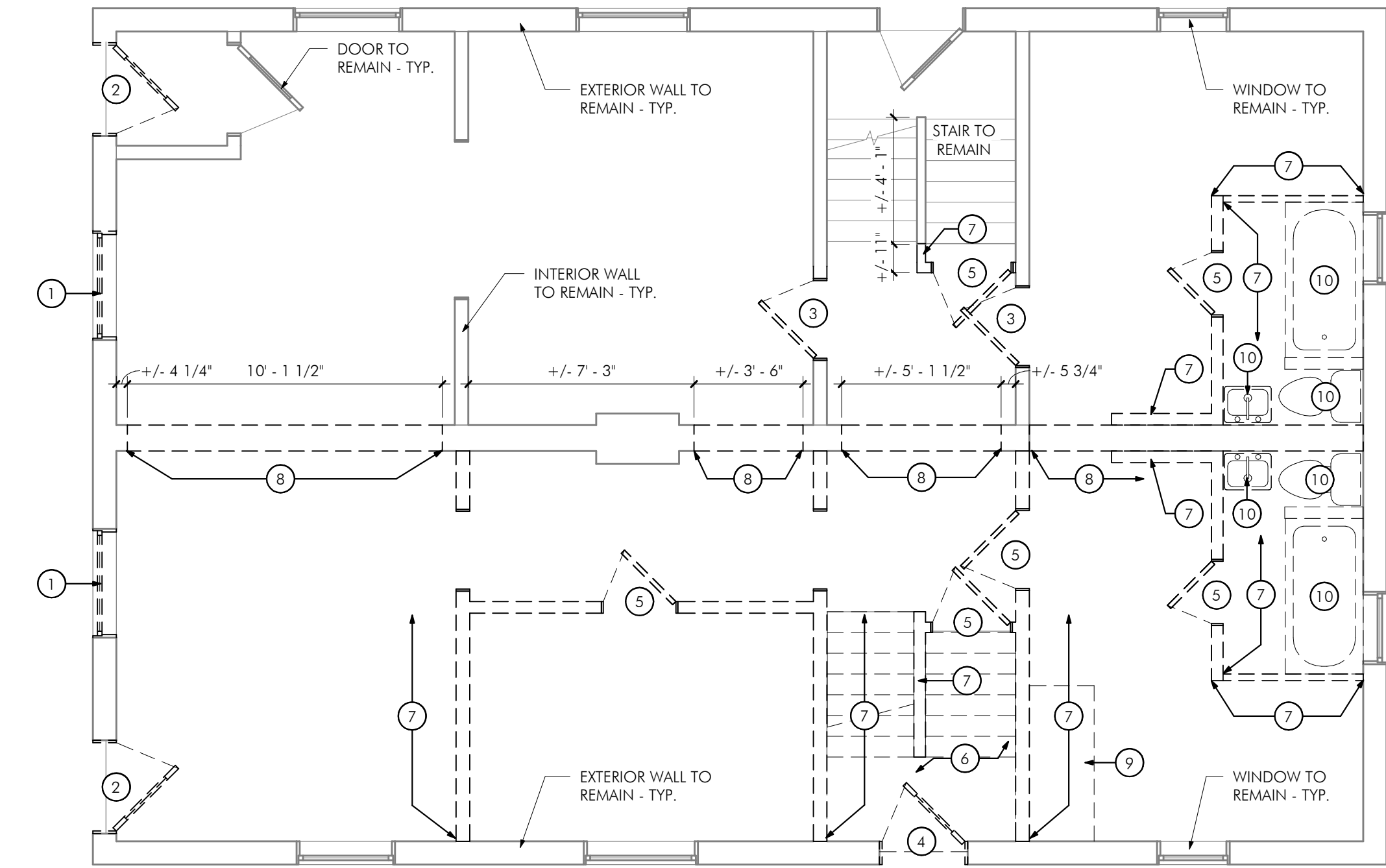
D3 Framing Detail
1 1/2" = 1'-0"



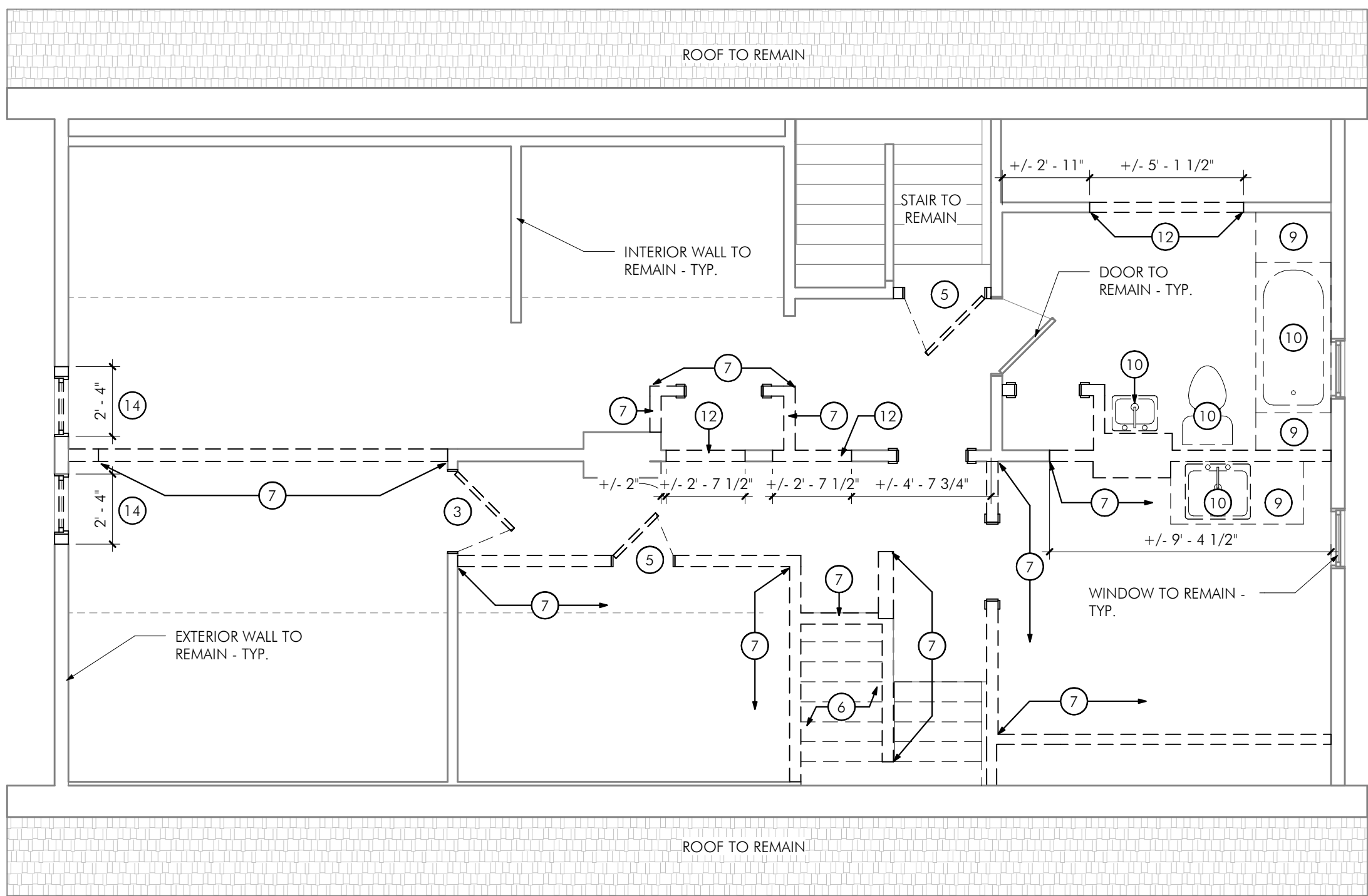
D4 Framing Detail
1 1/2" = 1'-0"



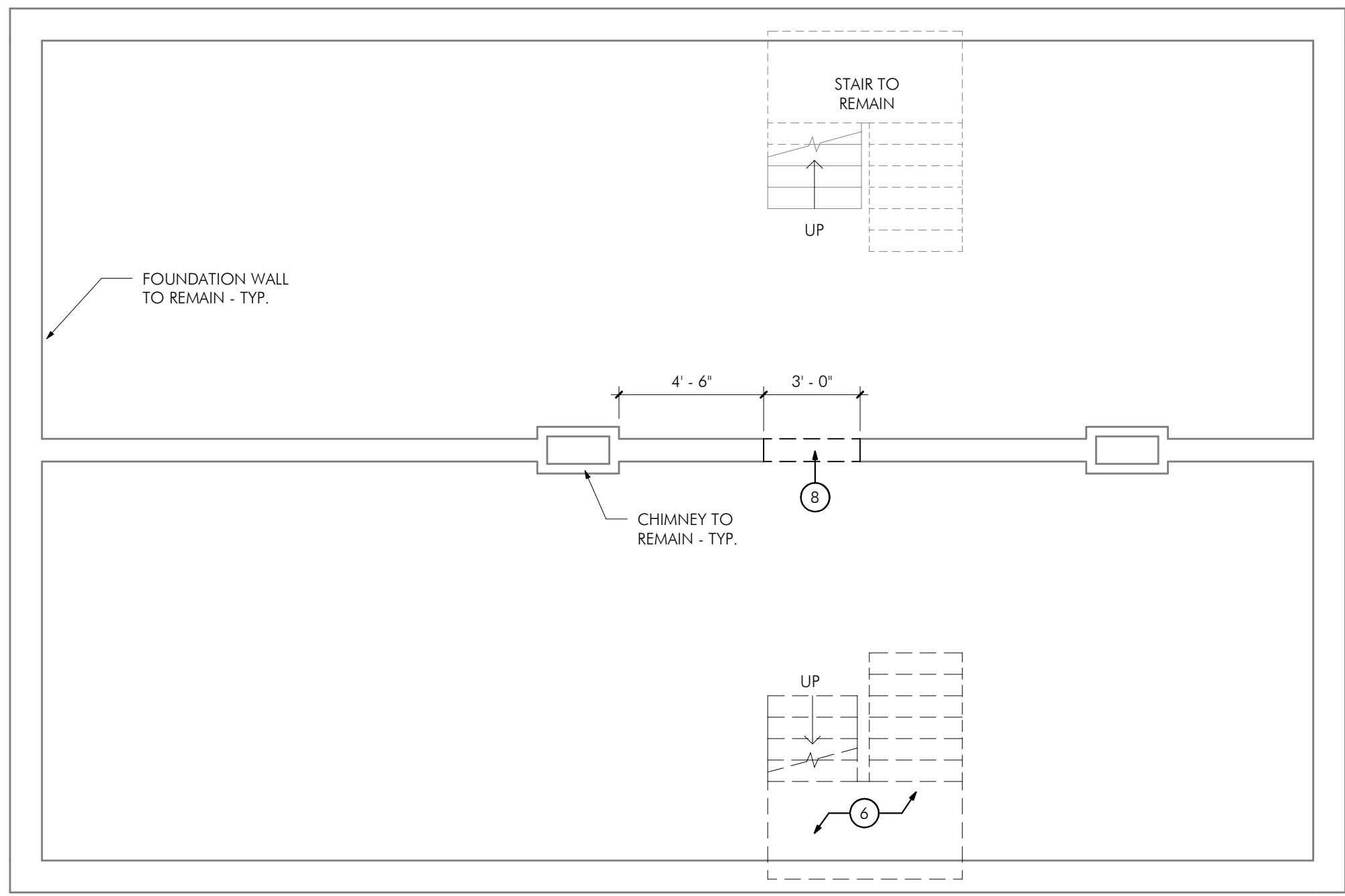
D5 Deck Framing Detail
1 1/2" = 1'-0"



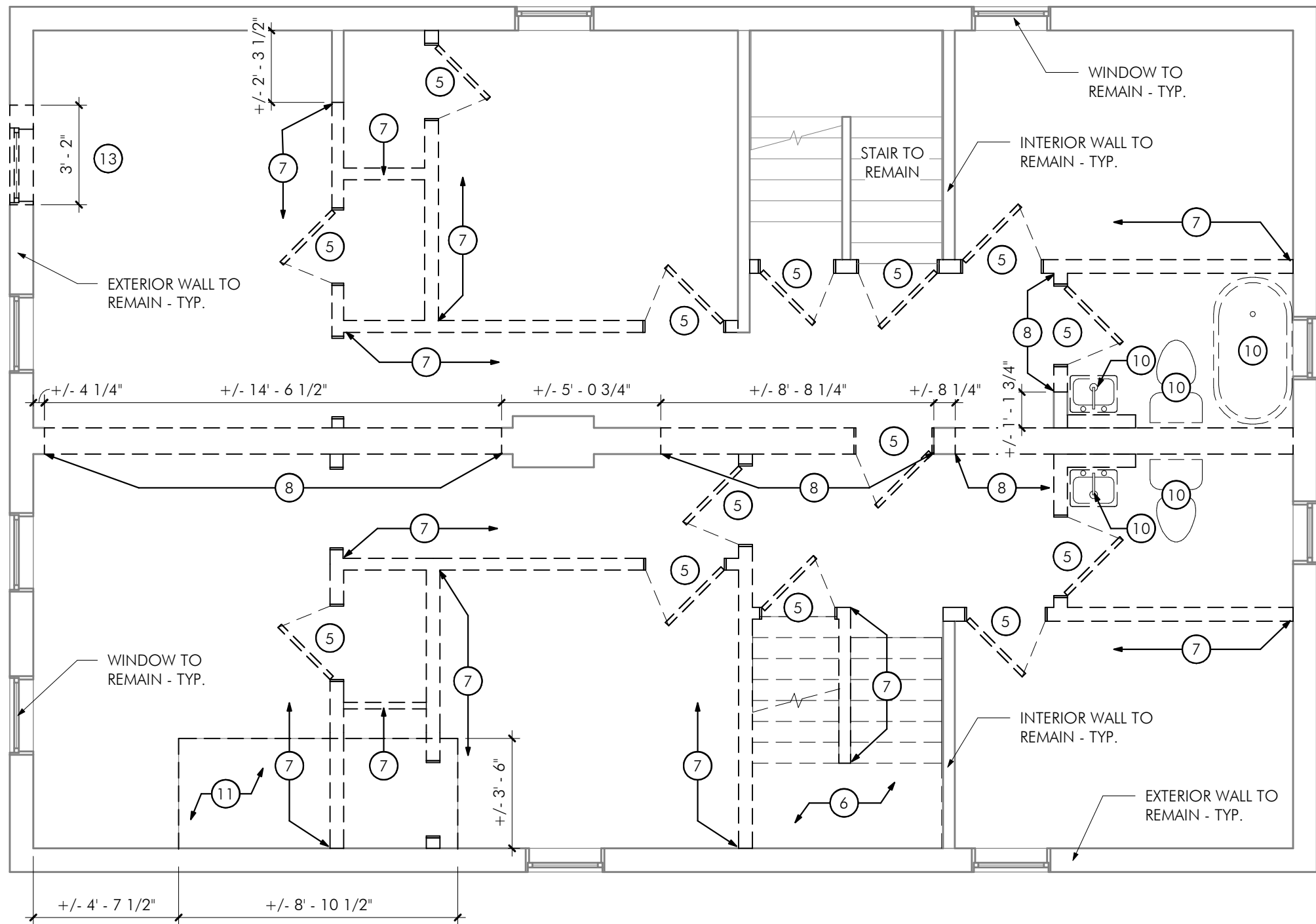
B1 First Floor Demolition Plan
1/4" = 1'-0" B1 A-5



D1 Attic Demolition Plan
1/4" = 1'-0" B1 A-5



B3 Basement Demolition Plan
1/4" = 1'-0" B1 A-5



D3 Second Floor Demolition Plan
1/4" = 1'-0" B1 A-5

General Demolition Notes

- ALL WORK SHALL BE IN COMPLIANCE WITH THE ADMINISTRATIVE PROVISIONS AND THE NEW YORK BUILDING CODE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK TO BE PERFORMED BY CONTRACTOR, SUBCONTRACTORS AND ALL PARTIES PERFORMING WORK UNDER OTHER CONTRACTS ASSOCIATED WITH THE RENOVATION AND NEW CONSTRUCTION. CONTRACTOR IS NOT RESPONSIBLE FOR COORDINATING SITE WORK NOT INCLUDED IN THESE DOCUMENTS. CONTRACTOR TO CUT WALLS FOR DUCTWORK OPENINGS & PROVIDE LINTEL WHERE REQUIRED. REFER TO LINTEL SCHEDULE FOR LINTEL SIZING.
- DRAWINGS DO NOT INDICATE ALL DEMOLITION / REMOVALS. CONTRACTOR IS TO REFER TO DRAWINGS, SPECIFICATIONS AND VERIFY FIELD CONDITIONS TO DETERMINE FULL SCOPE AND PARTICULARS OF REMOVAL REQUIREMENTS. CONFER WITH OWNER WHICH ITEMS ARE TO BE SAVED FOR OWNERS USE OR REINSTALLATION BY CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS TO BE SALVAGED AND RELOCATED, THROUGHOUT THE CONSTRUCTION PERIOD, INCLUDING SAFE STORAGE OF SAME. UPON DEMOLITION, THE OWNER SHALL RETAIN THOSE ITEMS DEEMED SALVAGEABLE. ITEMS NOT RETAINED SHALL BECOME THE PROPERTY OF THE CONTRACTOR, WHO SHALL LEGALLY DISPOSE OF SAME.
- IF DEEMED REQUIRED, PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR RENOVATION, A SURVEY SHALL BE PERFORMED FOR THE PRESENCE OF REGULATED ASBESTOS-CONTAINING MATERIALS. THE CONTRACTOR MUST DEMONSTRATE COMPLIANCE WITH OR EXEMPTION FROM NOTIFICATION REQUIREMENTS.
- CUT AND CAP, EXTEND OR RELOCATE IMPACTED GAS, WATER SUPPLY & SANITARY LINES AS REQUIRED BY NEW CONSTRUCTION. EXISTING WATER SERVICE LINE, GAS METER, WATER METER AND SEWER LINE TO REMAIN WITH EXISTING STRUCTURE ONCE RELOCATED. CUT AND REMOVE MAIN SUPPLY AND SANITARY LINES AS REQUIRED FOR RELOCATION. RECONNECT ALL UTILITIES AT CONCLUSION OF RELOCATION OF STRUCTURE.
- COORDINATE ALL REMOVALS WITH STRUCTURAL IMPLICATIONS WITH FRAMING DRAWINGS AND NOTES. BRACE AND SHORE ALL WALLS AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF REMAINING MATERIALS. SHOULD ANY QUESTIONS ARISE DURING DEMOLITION CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION. WHERE ITEMS ARE REMOVED, PATCH SURFACES TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES WHERE SCHEDULED. PATCHING OF NEW OR EXISTING FINISHES SHALL EXTEND TO NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN, UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE PREP OF ALL EXISTING WALLS AND SURFACES TO REMAIN THAT ARE IMPACTED BY THE REMOVAL OF ADJACENT SURFACES. EXISTING ROOF FRAMING TO REMAIN UNLESS OTHERWISE NOTED. PROTECT ALL EXISTING CONSTRUCTION, HARDSCAPE, LANDSCAPE OR FINISHES TO REMAIN/SALVAGE/REUSE FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. ANY DAMAGE WILL BE REPAIRED OR MATERIAL REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A SAFE AND CLEAN JOB-SITE AND REMOVE ALL DEBRIS GENERATED BY DEMOLITION AND CONSTRUCTION PROCESS IN A TIMELY MANNER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A DUMPSTER AS NEEDED.
- PROVIDE ALL REQUIRED TEMPORARY STRUCTURAL SUPPORT AND SHORING AS NEEDED FOR RELOCATION OF EXISTING TWO STORY STRUCTURE. AT THE CONCLUSION OF THE RELOCATION OF THE EXISTING STRUCTURE, REMOVE EXISTING FOUNDATION IN ENTIRETY.

Structural Selective Demolition

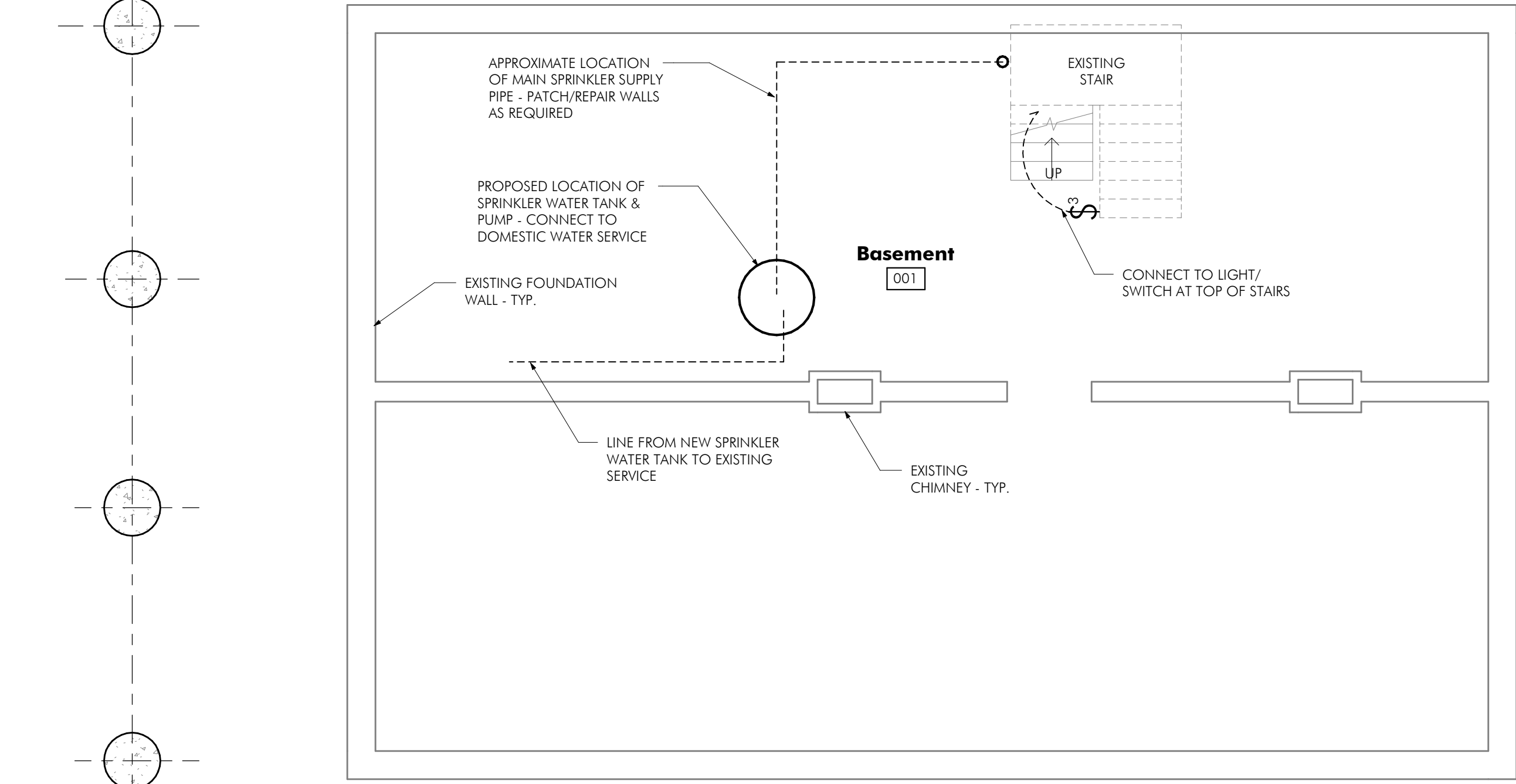
- INVESTIGATIVE SELECTIVE DEMOLITION WAS NOT PERFORMED TO CONFIRM EXISTING STRUCTURAL & FRAMING MEMBERS DIRECTION & SIZES. STRUCTURAL ASSUMPTIONS SUCH AS DETERMINATION OF LOADBEARING WALL & DIRECTIONS OF FLOOR FRAMING MEMBERS HAVE BEEN MADE BASED ON SITE VISITS & THE REVIEW OF EXISTING CONDITIONS PERFORMED TO THE BEST OF THE ARCHITECT'S ABILITY & ASSUMPTIONS BASED ON RECOGNIZED CONSTRUCTION TECHNIQUES.
- WHEN CALLED FOR IN DEMOLITION NOTES THE CONTRACTOR IS TO NOTIFY THE ARCHITECT ONCE WALL, CEILING & FLOOR CAVITIES ARE EXPOSED BUT BEFORE THE REMOVAL OF ANY STRUCTURAL SUPPORT WALL FOR ADDITIONAL REVIEW.
- IF SHEATHINGS AND/OR SUBSTRATES ARE REMOVED & FRAMING IS FOUND TO BE DIFFERENT THAN ASSUMED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY WHETHER CALLED FOR OR NOT IN THE CONSTRUCTION DOCUMENTS. NO LOADBEARING WALL, ASSUMED OR ACTUAL, ARE TO BE REMOVED BEFORE REVIEWED BY ARCHITECT.

Demolition Notes

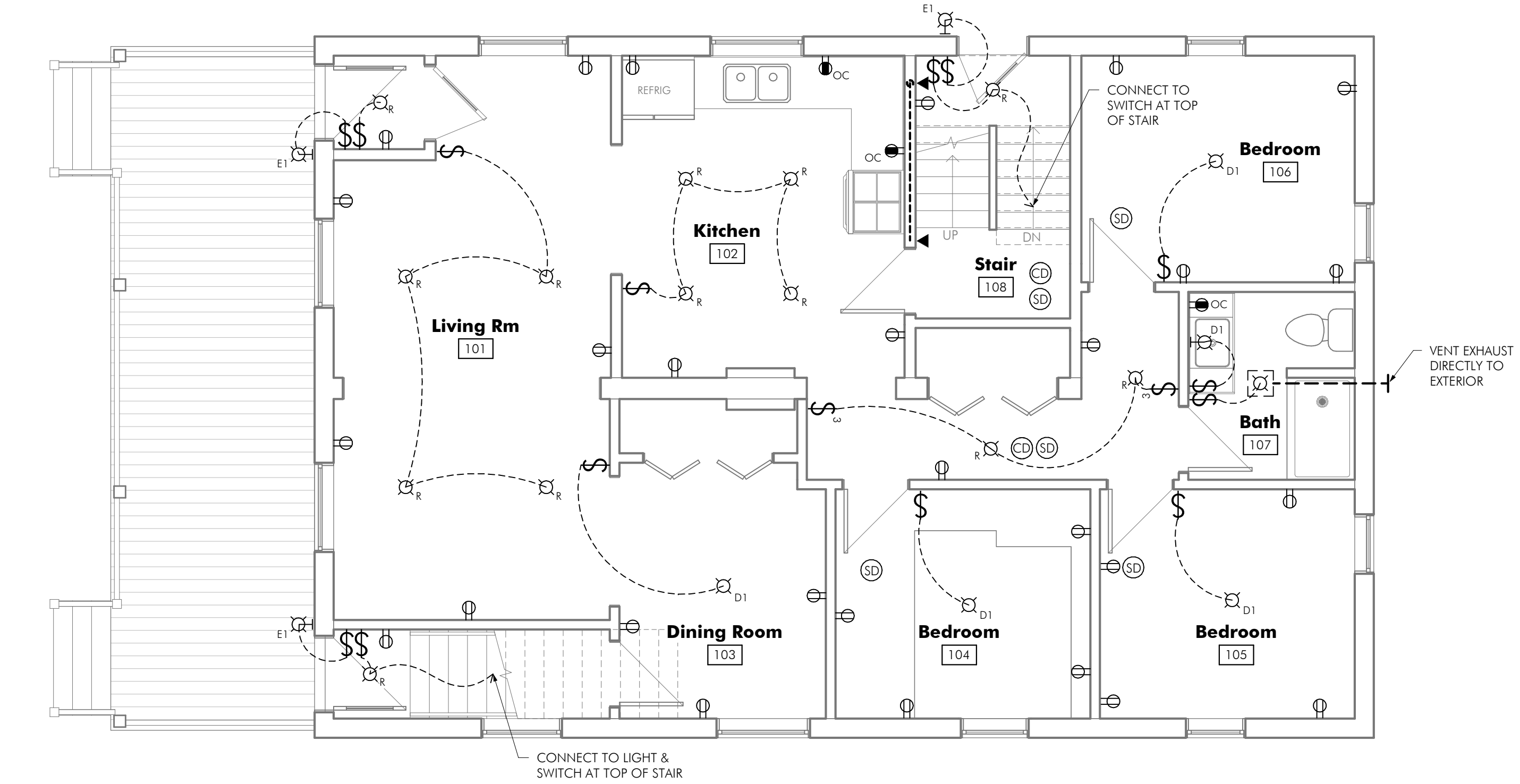
- WINDOW TO BE REMOVED IN ENTIRETY - PREP REMAINING OPENING FOR NEW WINDOW UNIT.
- REMOVE DOOR & DOOR FRAME IN ENTIRETY - PREP OPENING FOR NEW DOOR WITH PREHUNG WOOD FRAME.
- REMOVE DOOR & DOOR FRAME IN ENTIRETY - PREP OPENING FOR INFILL CONSTRUCTION. DOOR TO BE REMOVED IN ENTIRETY - PREP REMAINING OPENING FOR INFILL CONSTRUCTION & NEW WINDOW UNIT.
- REMOVE DOOR & ADJACENT WOOD FRAMED WALL TO EXTENT REQUIRED FOR NEW CONSTRUCTION.
- STAIR TO BE REMOVED IN ENTIRETY - PREP REMAINING FLOOR OPENING FOR INFILL.
- REMOVE WOOD FRAMED WALL IN ENTIRETY - PREP ADJACENT SURFACES TO REMAIN.
- REMOVE WOOD FRAMED WALL TO EXTENT REQUIRED - PROVIDE TEMPORARY SHORING AS REQUIRED.
- REMOVE CASEWORK IN ENTIRETY.
- REMOVE PLUMBING FIXTURE IN ENTIRETY - CUT AND CAP SUPPLY & WASTE LINES AT FIRST AVAILABLE CONNECTION OUT OF AREA OF CONSTRUCTION - IF REQUIRED FOR REUSE PREP AS REQUIRED.
- FLOOR TO BE REMOVED TO EXTENT REQUIRED FOR NEW CONSTRUCTION - PREP OPENING AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE WALL TO EXTENT REQUIRED FOR NEW CONSTRUCTION - PREP REMAINING OPENING FOR NEW DOOR INSTALLATION.
- REMOVE WINDOW & ADJACENT WOOD FRAMED WALL TO EXTENT REQUIRED FOR NEW DOOR OPENING.
- REMOVE WINDOW & ADJACENT WOOD FRAMED WALL TO EXTENT REQUIRED FOR NEW EGRESS WINDOW OPENING.

7/1/2021 3:02:58 PM P:\P21033 455 4th Street - Short Term Rental Renovation.rvt P:\P21033 455 4th Street - Short Term Rental Renovation.rvt

The design concepts, construction drawings and details presented herein are the sole property of Abstract Architecture PC. Any reproduction or other use of this information without the written consent of Abstract Architecture PC is prohibited. This document is for informational purposes only. It is not to be used for construction. No digital representation of a seal will be considered acceptable.



B1 Basement MEP Plan
1/4" = 1'-0" B1 A-5



D1 First Floor MEP Plan
1/4" = 1'-0" B1 A-5

MEP Plan Legend

- §_A LIGHTING CONTROL SWITCH - LIGHTING WALL SWITCHES, LOCATED BY DOT. 1 POLE IF NO NOTATION:
 - 3" 3-WAY SWITCH
 - D" DIMMER CONTROL
- ⊕ DUPLEX RECEPTACLE
- ⊖ GFI RECEPTACLE
- UC - UNDER-COUNTER
- OC - OVER-COUNTER
- WP - WATERPROOF
- ⊗ LIGHTING FIXTURE - REFER TO LIGHT SCHEDULE. ON BRANCH CIRCUITRY WHERE ONLY THE CIRCUIT NUMBER IS SHOWN, CIRCUIT LUMINARIES WITH THE SAME NUMBER FEED TO THE CIRCUIT INDICATED WITH A HOMERUN TO EACH NUMBERED GROUP - CONNECT TO A 20AMP - 1 PHASE CIRCUIT BREAKER
- R - RECESSED FIXTURE
- D - DECORATIVE FIXTURE
- E - EXTERIOR FIXTURE
- CEILING SPRINKLER HEAD LOCATION
- ▼ WALL SPRINKLER HEAD LOCATION
- SD SMOKE DETECTOR
- CD CARBON MONOXIDE DETECTOR
- ⊗ BOTH SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR ARE TO BE HARDWIRED, RECESSED BODY STYLE UNITS - FASCIA TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
- ⊗ RECESSED CEILING MOUNTED EXHAUST FAN/LIGHT - REFER TO LIGHT SCHEDULE

Light Schedule

- ALL LIGHTING FIXTURES AND ACCESSORIES TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION BY CONTRACTOR.
- ALL LIGHT FIXTURES TO BE ON A COMPATIBLE DIMMER SYSTEM EXCEPT FOR THE CEILING MOUNTED FIXTURE IN LAUNDRY CLOSET.
- RECESSED CAN DOWNLIGHTS**
FIXED (R1):
MANUFACTURER: LITHONIA LIGHTING
MODEL: LK3B-LED (GEN4) 3" RECESSED LED FINISHING KIT
TRIM COLOR: MATTE WHITE
*PROVIDE WET LOCATION APPROVED TRIM AT SHOWER
*PROVIDE GIMBAL VERSION AT LOCATIONS WHERE DIRECTIONAL CONTROL IS REQUESTED BY HOMEOWNER
- DECORATIVE LIGHT FIXTURE (D1):**
MANUFACTURER: RESTORATION HARDWARE
MODEL: PARIAN ARCHITECTURAL MILK GLASS BRASSERIE - FLUSH MOUNT
SIZE - TRIM COLOR: 12" - BRONZE
- EXTERIOR LIGHT FIXTURE (E1):**
MANUFACTURER: LOTUS
MODEL: 6" AIR TIGHT RECESSED TRIM WITH EXTERIOR GRADE HOUSING
TRIM COLOR: WHITE
- EXHAUST FAN/LIGHT:**
MANUFACTURER: BROAN-NUTONE
MODEL: INVENT SERIES 110 CFM WITH LIGHT - 791LEDNTM
TRIM COLOR: WHITE

Electrical Notes

- ELECTRICAL WORK IS LIMITED TO THE AREA OF THE PROPOSED ADDITION FOR LIGHTING, OUTLETS & SAFETY DEVICES IN LOCATIONS REQUIRED BY CODE. THE REMAINDER OF THE EXISTING ELECTRICAL SYSTEM IS TO REMAIN. ALL ELECTRICAL WORK SHALL BE INSTALLED IN COMPLIANCE WITH N.E.C. (ANSI/NHATO) AND FIRE CODE OF NEW YORK STATE BY A LICENSED ELECTRICIAN AND IN STRICT ACCORDANCE WITH NATIONAL AND LOCAL ELECTRICAL CODES. LICENSED ELECTRICAL CONTRACTOR TO COORDINATE ALL ELECTRICAL OUTLETS AND LIGHTING FIXTURES TYPES AND LOCATIONS WITH OWNER.
- ONLY AIRTIGHT ELECTRICAL BOXES SHALL BE INSTALLED IN EXTERIOR WALLS AND INSULATED CEILINGS. RECESSED LIGHT FIXTURES OR JUNCTION BOXES IN INSULATED CEILINGS SHALL BE COVERED WITH INSULATION. RECESSED LIGHT FIXTURES INSTALLED IN DROP CEILINGS OR SOFFITS SHALL BE DRAFT STOPPED. WHERE ELECTRICAL PANELS ARE INSTALLED ON EXTERIOR WALLS, AIR SEALING OF ALL PENETRATIONS ARE REQUIRED. CONDUIT/WIRES SHALL BE LOCATED ALONG PLATES OR AGAINST STUDS RATHER THAN THROUGH THE CENTER OF INSULATION CAVITIES.
- ELECTRICAL PENETRATIONS THROUGH RIM JOISTS SHALL BE SEALED WITH EXPANDABLE FOAM OR CAULK. CONDUIT/WIRES PENETRATING INTO THE ATTIC AND THROUGH TOP AND BOTTOM PLATES IN EXTERIOR WALLS SHALL BE SEALED WITH EXPANDING FOAM OR CAULK.
- ALL LIGHT FIXTURES ARE TO BE APPROVED BY THE OWNER PRIOR TO ORDERING. CONTRACTOR IS RESPONSIBLE FOR ALL WIRING TO DEVICES. IF OWNER REQUESTS ANY ADDITIONAL DECORATIVE/SPECIALTY LIGHT FIXTURES, THEY ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE AGREED BETWEEN THE OWNER AND CONTRACTOR. ALL DECORATIVE/SPECIALTY LIGHT FIXTURES ARE TO BE ON A SEPARATE SWITCH FROM FIXTURES SHOWN ON ELECTRICAL PLAN, WITH AN INDIVIDUAL HOME RUN TO THE EXISTING ELECTRICAL PANEL. PROPERLY GROUND AND BOND ALL LIGHTING FIXTURES.
- ALL DEVICES WHERE APPLICABLE SHALL BE ENERGYSTAR RATED. THE ELECTRICAL SYSTEM SHALL BE PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH THE LATEST ISSUE OF THE N.E.C. INCLUDING BUT NOT LIMITED TO PANEL BOARDS, WIRING DEVICES, LIGHTING DEVICES, ETC.
- FEEDER AND BRANCH CIRCUIT WIRING SHALL BE INDIVIDUAL BUILDING WIRE. COPPER MINIMUM #12 AWG RATIO 600V OR TYPE NM (ROMEX). ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ENSURING CORRECT LOAD DISTRIBUTION FOR EACH HOME RUN RETURN TO MAIN PANEL. RECEPTACLES SHALL BE DUPLEX 125 VOLT AC, RATED 20 AMP, 3 WIRE GROUNDING TYPE - SIDE/BACK WIRED AND SHALL CONFORM TO NEMA CONFIGURATION AND OSHA REQUIREMENTS. LIGHTING SWITCHES SHALL BE DECORE HANDLE, SCREW TERMINALS, SILENT OPERATING TYPE, 20 AMP, 120-227 VAC OR OWNER APPROVED ALTERNATIVE.
- SMOKE ALARM SHALL BE INTERCONNECTED AND HARDWIRED ON A SEPARATE CIRCUIT. SYSTEM SHALL HAVE A BATTERY BACKUP FOR POWER WHEN PRIMARY COMMERCIAL POWER IS INTERRUPTED. SMOKE ALARM SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING CODE OF NEW YORK STATE AND THE FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.

Fire Protection Notes

- THE ALTERATION TO THE EXISTING ATTIC REQUIRES THE ADDITION OF AN AUTOMATIC SPRINKLER SYSTEM THAT IS TO MEET ALL THE REQUIREMENTS AND BE INSTALLED IN ACCORDANCE WITH NFPA 13D.
- SPRINKLER SYSTEM INSTALLER IS TO CONFIRM THAT EXISTING WATER SUPPLY LINE MEETS ALL THE SIZE REQUIREMENTS FOR THE TYPE OF PIPE FOR THE ADDITION OF THE SPRINKLER SYSTEM. IF THE EXISTING WATER SUPPLY LINE IS NOT ADEQUATE, A WATER TANK SUPPLIED SYSTEM IS TO BE INSTALLED. THE INSTALLER IS TO CONFIRM WATER TANK IS SIZED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AREA OF COVERAGE AND DISCHARGE AND DURATION OF THE SPRINKLER SYSTEM.
- SPRINKLERS SHALL BE INSTALLED IN ALL AREAS EXCEPT WHERE OMISSION IS PERMITTED. SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING WHERE THE TYPE OF CEILING CONFIGURATION IS REFERENCED IN THE RECOGNIZED LISTING.

Mechanical Notes

- THE CHANGES IN THE EXISTING MECHANICAL SYSTEM ARE LIMITED TO THE RELOCATION AND/OR EXTENSION OF THE FLOOR VENTS AS REQUIRED ON THE SECOND AND THE INSTALLATION OF A HVAC SPLIT SYSTEM ON THE THIRD FLOOR. IF ANY ADDITIONAL WORK IS REQUIRED THE CONTRACTOR SHALL VISIT THE JOB SITE AND EXAMINE ALL EXISTING CONDITIONS AFFECTING COMPLIANCE WITH PLANS AND SPECIFICATIONS. EXISTING MECHANICAL HEATING AND COOLING SYSTEMS IS TO REMAIN TO EXTENT POSSIBLE, AND IS TO BE CLEANED AND FULLY SERVICED INCLUDING REPLACEMENT OF ALL FILTERS.
- ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH THE 2020 MECHANICAL CODE OF NEW YORK STATE (RCNYS) AND ANY OTHER APPLICABLE CODE AND/OR RECOMMENDATION. CONTRACTOR IS TO PROVIDE LINE DIAGRAM OF PROPOSED DUCTWORK LAYOUT PRIOR TO ORDERING ANY ITEMS FOR OWNER OR ARCHITECT APPROVAL. ALL DUCTWORK SHALL BE LOCATED WITHIN CONDITIONED SPACES AND ALLOW EASE OF ACCESS TO FACILITATE SERVICING, FILTER REPLACEMENT, DRAIN PAN CLEANING AND FUTURE SYSTEM UPGRADES.
- AS A DESIGN-BUILD PROJECT, THE MECHANICAL CONTRACTOR IS TO PROVIDE HIS OWN DRAWINGS FOR PERMIT REVIEW AND APPROVAL. THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO REVIEW OTHER TRADES DOCUMENTS TO DETERMINE MOUNTING HEIGHTS FOR MECHANICAL DEVICES OR EQUIPMENT AND FULL SCOPE OF WORK. CONTRACTOR PROVIDED DRAWINGS CAN BE DIAGRAMMATIC IN NATURE AND INDICATE THE SIZE AND GENERAL ARRANGEMENT OF PIPING, DUCTWORK, EQUIPMENT, ETC. EXACT LOCATIONS AND ROUTINGS SHALL BE DETERMINED IN THE FIELD BEFORE AND AS THE WORK PROGRESSES. CAREFULLY COORDINATE THE WORK OF THIS TRADE WITH ALL OTHER TRADES. CONTRACTOR IS TO PROVIDE LINE DIAGRAM OF ANY/ALL PROPOSED NEW DUCTWORK LAYOUT PRIOR TO ORDERING ANY ITEMS FOR OWNER OR ARCHITECT APPROVAL.
- DUCTWORK SHALL NOT BE LOCATED IN VENTED ATTICS, VENTED CRAWLSPACES OR GARAGES. DUCTWORK SHALL NOT BE LOCATED IN EXTERIOR WALLS OR IN CONCRETE FLOOR SLABS. DUCTWORK SHALL BE SEALED AGAINST AIR LEAKAGE. AIR SHALL ONLY BE ABLE TO EXIT THE HEATING/COOLING SYSTEM VIA THE SUPPLY REGISTERS. ENTIRE SUPPLY SYSTEM SHALL BE SEALED WITH MASTIC IN ORDER TO BE AIRTIGHT. ALL OPENINGS (EXCEPT SUPPLY REGISTERS), PENETRATIONS, HOLES AND CRACKS SHALL BE SEALED WITH MASTIC OR FIBERGLASS MESH AND MASTIC. RETURN SYSTEM SHALL BE HARD DUCTED AND SEALED WITH MASTIC. BUILDING CAVITIES AND STUD BAYS SHALL NEVER BE USED AS RETURN DUCTS.
- UPON COMPLETION OF MECHANICAL SYSTEM INSTALLATION, SYSTEM IS TO BE BALANCED AND RUN TO DEMONSTRATE AT ALL HEATING AND VENTILATION SYSTEMS ARE FUNCTIONAL AS INTENDED.
- ALL EXHAUST VENTS FOR PRODUCT CONVEYING SYSTEMS SHALL BE LOCATED A MINIMUM OF 10' FROM OR 3' ABOVE ALL ROOF OR WALL OPENINGS PER 2020 RCNYS. TERMINATIONS OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3'-0" FROM ANY OPENING IN THE BUILDING. DIRECT DUCTED EXHAUST SHALL BE PROVIDED FROM THE TOILETS. EXHAUST DUCTWORK SHALL EXIT DIRECTLY TO THE EXTERIOR. LOW SON FAN (LESS THAN 3 ONES) ARE RECOMMENDED IN TOILETS, INCLUDING THOSE WITH OPERABLE WINDOWS. EXTERIOR VENT COVERS TO BE MODEL SF BY SEIKO INTERNATIONAL INC. AND BE OF ALUMINUM OR ANODIZED FINISH OR AN APPROVED ALTERNATIVE.

Plumbing Notes

- ALL PLUMBING WORK SHALL BE COMPLETED BY A LICENSED PLUMBER AND IN STRICT ACCORDANCE WITH NATIONAL AND LOCAL PLUMBING CODES.
- NO PLUMBING LINES SHALL BE INSTALLED IN EXTERIOR WALL CONSTRUCTION UNLESS SPECIFICALLY CALLED FOR. ALL HOT WATER LINES ARE TO BE INSULATED. PLUMBING PENETRATIONS THROUGH RIM JOIST SHALL BE SHEATHED WITH EXPANDABLE FOAM OR CAULK. VENT STACKS PENETRATING INTO THE ATTIC SHALL BE SEALED WITH FLEXIBLE SEALS TO HANDLE EXPANSION OF PIPES WITHIN REASONABLE EXPECTED TOLERANCES. PROVIDE PIPE SLEEVE AT ALL PIPE PENETRATIONS THROUGH FOUNDATIONS WALLS.
- ALL PLUMBING SUPPLY LINES SHALL BE RUN IN THE MOST ECONOMIC ROUTE TO ENSURE MINIMUM DISTANCE FROM WATER HEATER AND NO EXCESS USE OF PLUMBING MATERIALS. ALL SANITARY LINES MUST RUN IN THE MOST ECONOMIC AND SENSIBLE ROUTE TO MAIN HOME SANITARY LINE AND TIED INTO DISCHARGE TO SEPTIC TANK AND LEACHING FIELD.
- WASTE & DRAIN PIPES TO BE OF A MATERIAL AND SIZE PERMITTED BY CODE. PROVIDE 1/4" PER FOOT SLOPE FOR PROPER DRAINAGE. PROVIDE CLEANOUTS AS REQUIRED BY 2020 PLUMBING CODE OF NEW YORK STATE (RCNYS) IN LOCATIONS THAT ARE UNOBSTRUCTED AND ACCESSIBLE. VERIFY ALL WASTE LINES WITH ARCHITECT AND/OR OWNER PRIOR TO FRAMING. VENT PIPE TO BE 2" DIA. MIN. ABS-TYPE PIPE JOINED TOGETHER AT COMMON ROOF PENETRATIONS AS MANY AS POSSIBLE TO LIMIT NUMBER OF ROOF PENETRATIONS. EACH PLUMBING VENT SHALL EXTEND THROUGH ITS FLASHING AND SHALL TERMINATE VERTICALLY NO LESS THAN 6" ABOVE THE ROOF AND NO LESS THAN 1'-0" FROM ANY VERTICAL SURFACE PER PCOVS. PROVIDE NEOPRENE GASKETS AT ROOF PENETRATIONS AND LOCATE WHERE NOT VISIBLE FROM THE STREET WHENEVER POSSIBLE.
- LOW-FLOW FIXTURES (TOILETS& FAUCETS) SHALL BE INSTALLED TO MINIMIZE WATER CONSUMPTION. ALL FIXTURES SHALL BE APPROVED BY THE OWNER PRIOR TO ORDERING. REFER TO PLUMBING FIXTURE SCHEDULE.
- ALL SOIL PIPING SHALL BE PVC SCHEDULE 40 AND SLOPE AT 1/4" PER FOOT. ALL SOIL PIPING BELOW GRADE SHALL BE A MINIMUM OF 2" DIAMETER. IF REQUIRED PROVIDE BACKFLOW PREVENTERS) ON MAIN SUPPLY LINE. DESIGN OF SEPTIC SYSTEM TO BE PROVIDED BY THE INSTALLER AND MEET THE REQUIREMENTS OF THE DESIGN AS PRESENTED.
- PROVIDE CLEAN OUTS ON SOIL PIPING AT ALL CHANGES OF DIRECTION SPACED AT 50' MAXIMUM. ALL VENT PIPING SHALL BE ABOVE FLOOD RIM LEVEL OF HIGHEST FIXTURE BEFORE CONNECTION TO COMMON VENTS
- CONTRACTOR TO COORDINATE WITH HOMEOWNER ALL TYPICAL BATHROOM ACCESSORIES INCLUDING TOILETPAPER HOLDER & TOWEL BARS (HAND AND SHOWER) IN A STYLE AND FINISH APPROVED BY THE OWNER UNLESS OTHERWISE NOTIFIED.

PLUMBING FIXTURE BASIS OF DESIGN

- ALL PLUMBING FIXTURES AND ACCESSORIES TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION BY CONTRACTOR. ALL FIXTURES TO BE LOW FLOW TYPES. RUN SUPPLY LINES TO LOCATIONS AS SPECIFIED BY MANUFACTURER'S INSTALLATION GUIDELINES.
- TOILET:**
MANUFACTURER: GERBER
MODEL: AVALANCHE 2-PIECE ELONGATED - AV-21-818 - WHITE
SEAT: WOOD
- LAVATORY FAUCET:**
MANUFACTURER: RESTORATION HARDWARE
MODEL: DILLON LEVER HANDLE 8" WIDESPREAD -
FINISH: POLISHED CHROME
- SHOWERHEAD/VALVE TRIM/ADA HAND SHOWER:**
TO BE SELECTED BY OWNER THROUGH OWNER/CONTRACTOR AGREEMENT FOR INSTALLATION BY CONTRACTOR.

Appliance Notes

- LAUNDRY APPLIANCES WILL BE SUPPLIED BY THE OWNER FOR INSTALLATION BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL, GAS, WATER, MECHANICAL AND VENTILATION HOOK UPS TO APPLIANCES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SURROUNDING CONSTRUCTION AND FINISHES TO ENSURE CORRECT MANUFACTURER RECOMMENDED FIT FOR APPLIANCES.
- RUN SUPPLY LINES TO LOCATIONS AS SPECIFIED BY MANUFACTURER'S INSTALLATION GUIDELINES. OWNER WILL PROVIDE CONTRACTOR WITH APPLIANCE MAKE/MODEL INFORMATION ONCE DETERMINED.

Abstract Architecture PC
313 Broadway
Buffalo, NY 14204
mail@AbstractArch.com
(716) 812-2596

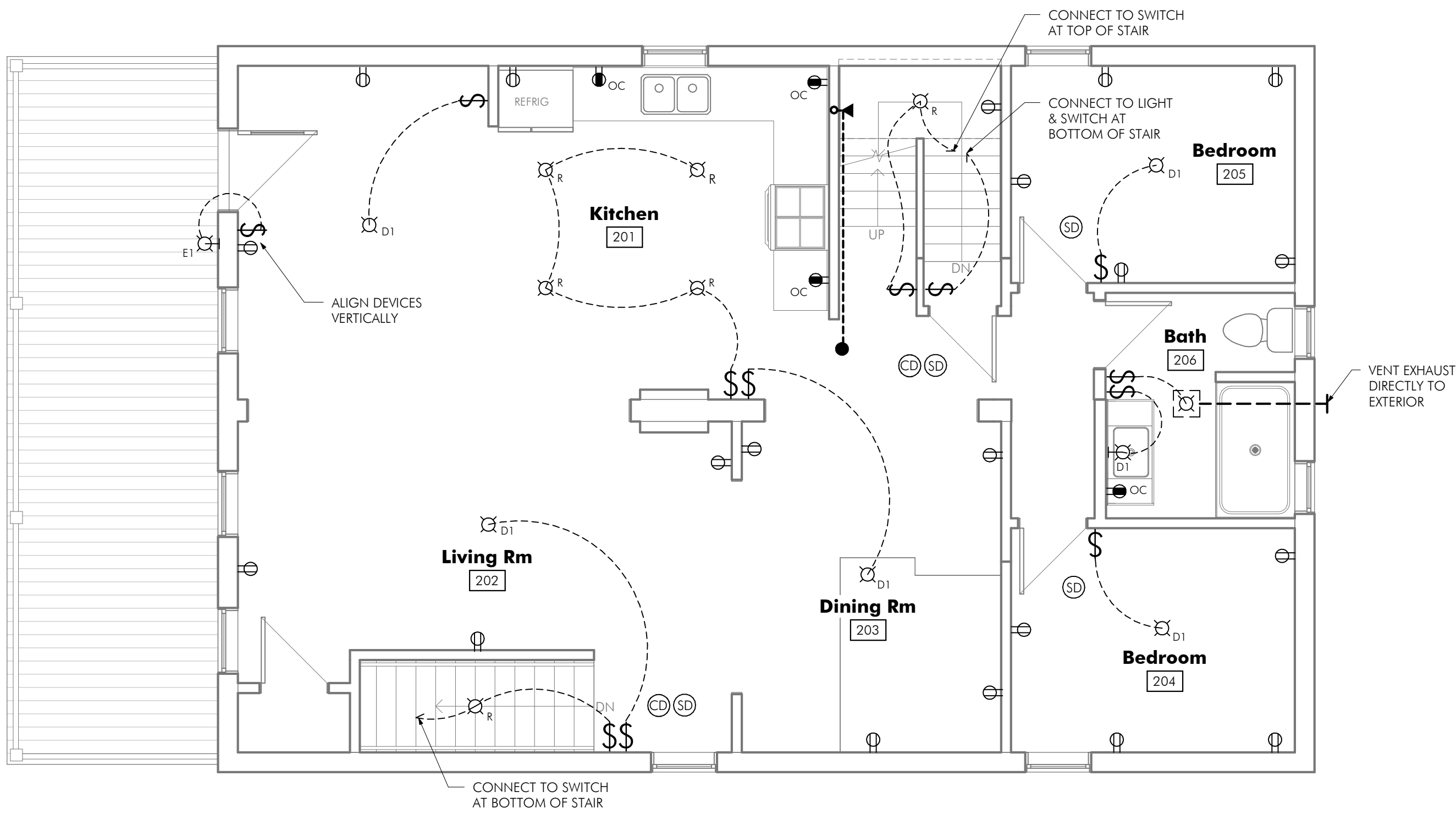
455 4th Street - Short Term Rental
Renovation

Preliminary Drawings
P- 21033

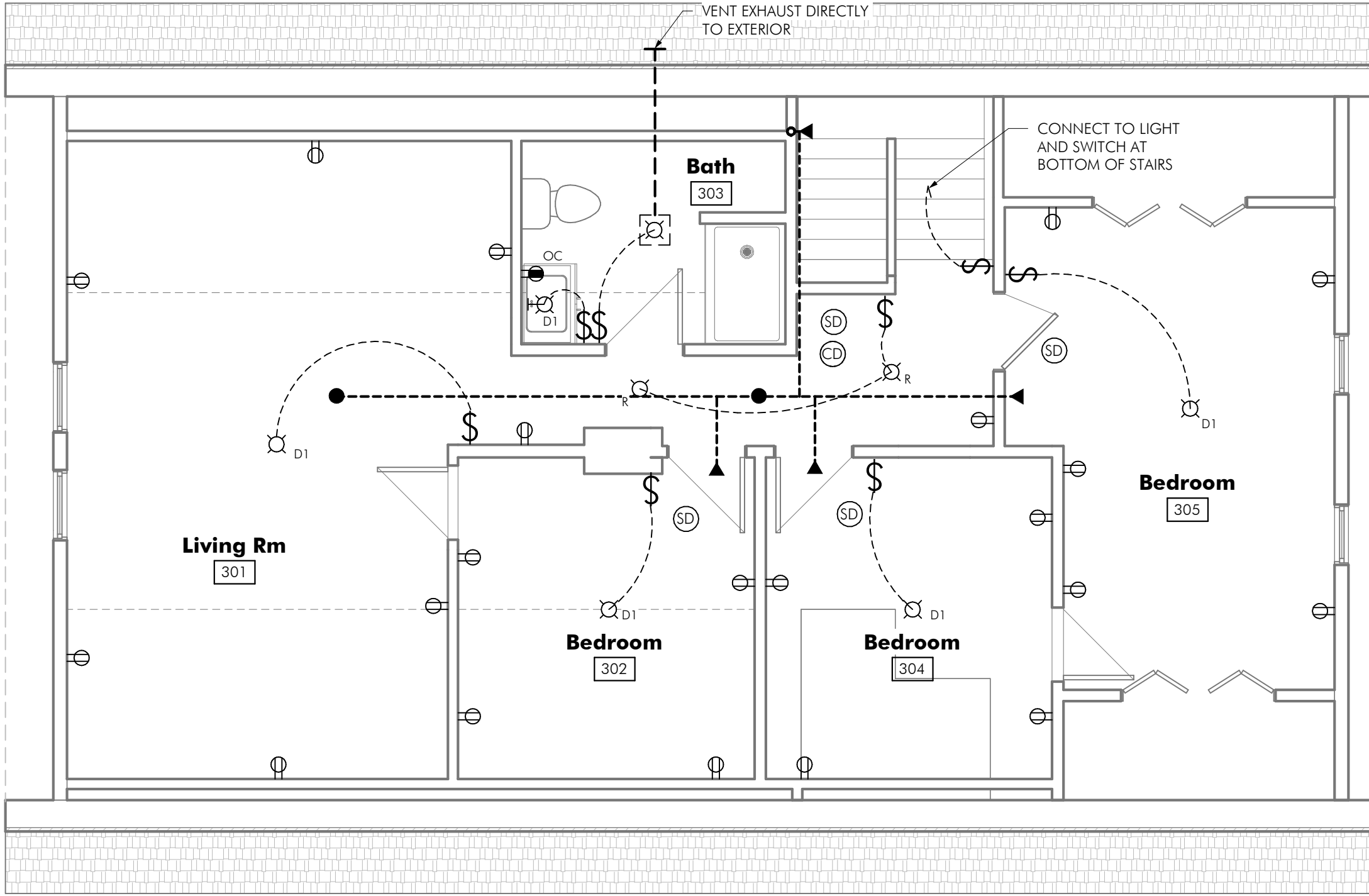
7.01.2021
Project N

Rod J. Davis
Buffalo Niagara Realty Group
225 Old Falls Street
Suite M
Niagara Falls, NY 14303

MEP Coordination Plan &
Notes
MEP-1



B2 Second Floor MEP Plan
1/4" = 1'-0" B1 A-5





Property: 455 4TH ST, Niagara Falls, 14301
SWIS: 291100 SBL: 159.29-2-26

Assessment	
Total	\$11,500.00
Total Land	\$1,500.00
County Taxable (Niagara)	\$11,500.00
Town Taxable	\$11,500.00
School Taxable	\$11,500.00
Village Taxable	\$0.00
Equalization Rate	73%
Full Market Value	\$16,197.18

Structure	
Site 1 of 1	
Building 1 of 1	
Section 1 of 1	
Boeck # - Description	0110 - 2 sty apt load sup
Construction Quality	2
Gross Floor Area	2912
Number of Stories	2
Story Height	8
Year Built / Effective Year Built	1928 / 0
Condition	1 - Poor
Building Perimeter	340
Basement Perimeter	136
Basement SQFT	1120
Number of Elevators	0
Air Conditioning %	0
Sprinkler %	0

Property Description	
Type	Commerical
Use	411 - Apartment
Ownership Code	-
Zoning	R3-C
Road Type	-
Water Supply	3 - Comm/public
Utilities	4 - Gas & elec
School District	Niagara Falls - 291100
Neighborhood Code	7

Last Property Sale	
Sale Date	12/16/2005 1:33:50 PM
Sale Price	\$50,000.00
Useable Sale	YES
Arms Length	YES
Prior Owner Name	Mark Pierson Inc,
Deed Book	3342
Deed Page	444
Deed Date	12/16/2005

Commerical Site Uses			
Site #	Commercial Use	Total Units	Total Rentable Area (sqft)
1	Convrted apt	5	2,912

Improvements

Site #	Description	Quantity	Condition	Year Built	SQFT	Dimensions
1	RP2 - Porch-covered	1	Normal	1928	196	0X0

Land						
Site #	Land Type	Acres	Front	Depth	SQFT	Soil Rating
1	01 - Primary	0	33	66	2178	Land: 1 Rating:

Owner Information						
Owner Name	Address 1	Address 2	Unit Name	Unit Number	City/State/Zip	
City of Niagara Falls NY,	745 Main St				Niagara Falls NY 14302	
Tax Deed 06/10/2014,	745 Main St				Niagara Falls NY 14302	

Exemptions				
Code Description	Amount	Exemption %	Start Year	End Year
No Exemptions				

Special Districts				
Code Description	Type	Primary Units	Secondary Units	Amount
RD291 - County refuse	A	0	0	\$11,500.00

APPENDIX C

Request for Proposal Application Form

The City of Niagara Falls reserves the right to reject any or all proposals submitted. Respondants may withdraw their proposals from consideration upon written notice.

Date of Submission: 3/15/21

Project Name: Power City Hospitality, Vreation Rentals

Applicant Information

Company Name: Power City Hospitality, LLC.
Address: 225 Old Falls Street, Ste M. Niagara Falls, NY.
Primary Contact: Rod Davis, Managing Member.
Primary Phone #: (716) 285-8860 Mobile Phone #: (716) 858-0640.
Email Address: rdavis@bnergie.com.

2. Legal Ownership Entity

- ☐ General Partnership
- ☐ Individual
- ☐ Not For Profit Organization
- ☐ Corporation
- ☐ Limited Partnerships
- ☒ Other: LLC.

3. Legal Status of Organization

- ☒ Currently Exists
- ☐ To be Formed. Estimated Date of Filing: _____

4. Developer History – Members of the developer and development team including principals with at least 20% ownership interest in the company. Complete as many as applicable at this time.

a.) Rod Davis
Full Name
279 Fairways Blvd.
Address
Williamsville, NY 14221.
City, State, Zip
(716) 285-8860 rdavis@bmginc.com
Phone # Email Address

b.) Dr. Yasar Shad.
Full Name
60 Knoche Way.
Address
Orchard Park, NY 14127.
City, State, Zip
(856) 981-3426. dr.yasirshad@gmail.com.
Phone # Email Address

c.) _____
Full Name

Address

City, State, Zip

Phone # Email Address

Attorney:

Joseph L. Leone Sr.
Firm Name

Joseph L. Leone Jr.
Contact Name

731 3rd Ave.
Address

Niagara Falls, N.Y. 14301.
City, State, Zip

(716) 285-9533 x100
Phone # Email Address

Architect:

Abstract Architecture.
Firm Name

Mike Anderson.
Contact Name

313 Broadway
Address

Buffalo, N.Y. 14204.
City, State, Zip

(716) 812-2596 mike A@abstractarch.com.
Phone # Email Address

Contractor:

Montante Construction.
Firm Name

Douglas Elia, John Krebs.
Contact Name

2760 Kenmore Ave.
Address

Buffalo, N.Y. 14250.
City, State, Zip

(716) 876-8899 x116 delia@montante.
Phone # Email Address

Management Agent:

Buffalo Niagara Realty Group.
Firm Name
Rod Davis.
Contact Name

225 Old Falls Street, Ste M.
Address

Niagara Falls, N.Y. 14303.
City, State, Zip

(716) 285-8860. rdavis@bniroproperties.com.
Phone # Email Address

Additional Team Member:

Firm Name

Contact Name

Address

City, State, Zip

Phone # Email Address

Project Summary

Development Cost

	City Parcel (Address)	Offer Price
Proposed Acquisition Cost:	\$ <u>2455 4th Street.</u>	<u>\$5000</u>
	\$ _____	_____
	\$ _____	_____
	\$ _____	_____
	\$ _____	_____
	\$ _____	_____
	\$ _____	_____
	\$ <u>Total:</u>	<u>\$5000</u>

(Attach Additional Sheets if Necessary)

Construction Costs *(See Attached).*

Hard Costs

Site Work: \$ _____ Fixtures, Furnishing & Equipment: \$ _____

Plumbing, Electrical, HVAC, Security: \$ _____ Landscaping: \$ _____

Foundation, Framing, Roofing, etc.: \$ _____ Subtotal: \$ _____

Soft Costs:

Architectural/Engineering Fees: \$_____ Legal Fees: \$_____

Accounting Fees: \$_____ Administrative/Development Fees: \$_____

Survey: \$_____ Title Work: \$_____ Taxes: \$_____

Insurance: \$_____ Relocation \$_____

Other: \$_____

Subtotal: \$_____

Miscellaneous Costs:

Developer Fee: \$_____

Project Reserve: \$_____

Subtotal: \$_____

Project Total: \$_____

455 4TH STREET VACATION RENTALS

PURCHASE PRICE

ATTORNEY CLOSING FEES	(\$1,100.00)
SURVEY	(\$375.00)
TITLE SEARCH	(\$900.00)
ARCHITECT DRAWINGS/PERMITS	(\$3,000.00)
SECURE PROPERTY AND NEW LOCKS/DOORS	(\$2,000.00)
DEMO	(\$6,000.00)
ROOF/FAÇADE/CHIMNEY	(\$35,000.00)
WINDOWS	(\$5,000.00)
PLUMBING*	(\$7,500.00)
ELECTRICAL*	(\$5,000.00)
HVAC/AC	(\$11,000.00)
DRYWALL/CARPENTRY/PAINTING	(\$8,000.00)
KITCHENS AND BATHS	(\$12,500.00)
SECURITY	(\$1,200.00)
FOUNDATION	(\$2,000.00)
FURNITURE, FIXTURES	(\$10,000.00)
FLOORING	(\$7,500.00)
LANDSCAPING	(\$3,000.00)
<u>TOTAL: **</u>	(\$121,075.00)

ESTIMATED RENTS: (2 UNITS)

TAXES:	(\$756.00)
MANAGEMENT FEES:	
UTILITIES (ELECTRIC, GAS, WATER, WI-FI, CABLE)	(\$3,600.00)
INSURANCE	(\$3,000.00)

ESTIMATED REHAB COMPLETION: 2 MONTHS

WI-FI / CABLE

UNIT #1:

4 BEDROOM, 1 BATH, KITCHEN, LR, DECK

UNIT #2:

6 BEDROOM, 2 BATH DUPLEX, KITCHEN, LR, DECK

FURNITURE:

2 REFRIGERATORS

TWO STOVES

TWO DISHWASHERS

TWO COUCHES AND LOVESEATS

7 QUEEN BEDS, 8 TWIN BEDS

TELEVISIONS

TOILETRIES

TOWELS

SHEETS

POWER CITY HOSPITALITY, LLC

Power City Building
225 Old Falls Street, Suite M
Niagara Falls, NY 14303
(716) 205-8889



**RE: SOUTH END GATEWAY AREA RFP 2021, 455 4th St.
SOUTH END GATEWAY AREA RFP 2021, 429 6th St.**

Attn: Eric Cooper

We have received your request for more information regarding both the 455 4th street property and the 429 6th street address. Over the past seven years we have been involved in residential rehabs and renovations as well as property management; the last 4 years have been spent in Niagara Falls of which we believe has great potential for growth. Our current projects include: 320 Cedar Avenue renovation, 740 Park Place (James Marshall House) a federal historic project, and 640 Park Place. Because our projects have been relatively small in nature we have frequently used Niagara Falls licensed contractors to pull permits and handle our work; however, for these projects we have engaged both Montante Construction and Hayes Construction to undertake the general contractor components of these projects. Both companies have extensive experience in construction and will be our designated construction companies going forward. In addition, we will have members of our usual team including Quality Electric, Stoneworks, and Mitro Heating and Cooling, all of which are licensed contractors in Niagara Falls and have worked with us extensively for the past four years.

I have attached several statements reflecting our proof of funds for these projects. In addition, we are in the process of closing the sale on both 719 and 747 7th Street in Niagara Falls, NY on June 9, 2021 of which we will receive total proceeds of \$260,000 (see attached)

I have also attached an updated cost analysis for both projects. As most are aware, costs for both materials and labor have greatly increased over the past several months due to covid related delays, so it was important for us to re-engage our construction team members to confirm pricing on all aspects of the projects. The updated prices have been confirmed by the teams and reflect costs going forward. It is also for this reason that we have chosen to make 429 6th Street into a temporary extension of the green space planned for 431. The current timeline to begin construction on the single family home at 429 is scheduled for the second quarter of 2022. We have an estimated cost of \$600,000, assuming a house of identical features to 441 6th.

Finally, we have also attached an outline drawing of our vision of the 6th Street project. We feel that this project conforms to the residential/vacation rental component as laid out in the Downtown Gateway District Master Redevelopment Plan and will greatly increase the values of residential properties in the downtown district. Thank you.

455 4TH STREET VACATION RENTALS

PURCHASE PRICE

ATTORNEY CLOSING FEES	(\$1,100.00)
SURVEY	(\$375.00)
TITLE SEARCH	(\$900.00)
ARCHITECT DRAWINGS/PERMITS/SPECIAL PERMIT	(\$3,000.00)
SECURE PROPERTY AND NEW LOCKS/DOORS	(\$2,000.00)
DEMO	(\$8,000.00)
ROOF/CHIMNEY/SIDING	(\$35,000.00)
WINDOWS/SLIDING DOORS	(\$7,500.00)
PLUMBING*	(\$12,000.00)
ELECTRICAL*	(\$7,500.00)
HVAC/AC	(\$10,000.00)
GC: FRAMING/DRYWALL/PAINTING	(\$15,000.00)
KITCHENS AND BATHS	(\$12,500.00)
SECURITY/SAFETY	(\$2,000.00)
FOUNDATION	(\$5,000.00)
FURNITURE, FIXTURES	(\$12,000.00)
FLOORING	(\$8,500.00)
EXTERIOR DECKS	(\$8,000.00)
LANDSCAPING	(\$3,000.00)
<u>TOTAL: **</u>	(\$153,375.00)

TOTAL RENTS/MONTH: ESTIMATED

\$6,300.00

ANNUAL RENTS:

\$63,000.00

TAXES: (based on current tax year)

(\$758.00)

MANAGEMENT FEES:

(\$7,560.00)

UTILITIES (ELECTRIC, GAS, WATER, WI-FI, CABLE)

(\$6,000.00)

INSURANCE

(\$3,000.00)

NET ANNUAL RENTS:

\$45,682.00

START DATE:**

7/1/2021

HOUSE CLEANOUT / DEMO

ROOFING / GUTTERS / SIDING

SECURE PROPERTY AND NEW LOCKS/DOORS

INSTALL SECURITY / SAFETY DEVICES

EXTERIOR FOUNDATION WORK

MECHANICALS (HVAC/AC: PLUMBING: ELECTRIC)

INITIAL PHASE
REHAB PREP
6 WEEKS

GC: FRAMING/DRYWALL/PAINTING

WINDOWS/SLIDING DOORS

FIRST FLOOR AND SECOND FLOOR DECKS

PHASE #2
GENERAL CONTRACTING
6 WEEKS

441 - 443 4TH STREET VACATION RENTALS

PURCHASE PRICE

ATTORNEY CLOSING FEES	(\$1,100.00)
SURVEY	(\$375.00)
TITLE SEARCH	(\$900.00)
ARCHITECT DRAWINGS/PERMITS/SPECIAL PERMIT	(\$4,500.00)
SECURE PROPERTY AND NEW LOCKS/DOORS	(\$2,000.00)
DEMO	(\$6,000.00)
ROOF/GUTTERS/ SIDING	(\$35,000.00)
WINDOWS/SLIDING DOORS	(\$7,500.00)
PLUMBING*	(\$12,000.00)
ELECTRICAL*	(\$7,500.00)
HVAC/AC	(\$10,000.00)
GC: FRAMING/DRYWALL/PAINTING	(\$15,000.00)
KITCHENS AND BATHS	(\$12,500.00)
SECURITY/SAFETY	(\$2,000.00)
FOUNDATION/CHIMNEY	(\$7,500.00)
FURNITURE, FIXTURES	(\$12,000.00)
FLOORING	(\$8,500.00)
EXTERIOR DECKS	(\$8,000.00)
LANDSCAPING	(\$5,000.00)

TOTAL: **

(\$157,375.00)

TOTAL RENTS/MONTH: ESTMATED

\$6,300.00

ANNUAL RENTS:

\$63,000.00

TAXES: (based on current tax year)

(\$758.00)

MANAGEMENT FEES:

(\$7,560.00)

UTILITIES (ELECTRIC, GAS, WATER, WI-FI, CABLE)

(\$6,000.00)

INSURANCE

(\$3,000.00)

NET ANNUAL RENTS:

\$45,682.00

START DATE:**

7/15/2021

HOUSE CLEANOUT / DEMO

ROOFING / GUTTERS / SIDING

SECURE PROPERTY AND NEW LOCKS/DOORS

INSTALL SECURITY / SAFETY DEVICES

EXTERIOR FOUNDATION WORK

MECHANICALS (HVAC/AC: PLUMBING: ELECTRIC)

INITIAL PHASE

REHAB PREP

6 WEEKS

GC: FRAMING/DRYWALL/PAINTING

WINDOWS/SLIDING DOORS

FIRST FLOOR AND SECOND FLOOR DECKS

PHASE #2

GENERAL CONTRACTING

6 WEEKS

FLOORING
KITCHENS AND BATHS
FURNITURE / FIXTURES
LANDSCAPING

PHASE #3
FINAL PHASE
3 WEEKS

COMPLETION DATE:

10/15/2021

9 BEDROOMS, 3.5 BATHS

435, 431, 429 6TH STREET 6TH STREET VACATION RENTALS

PARKING AND GREEN SPECE

PURCHASE PRICE

SURVEY	(\$1,200.00)
LANSCAPE ARCHITECT/PERMITS	(\$3,000.00)
LANDSCAPE AND FENCING: 431, 429	(\$8,000.00)
PARKING LOT CONSTRUCTION / 435 6TH (INCLUDES DRAINAGE AND LIGHTING)	(\$28,000.00)
<u>TOTAL:</u>	(\$40,200.00)

TAXES:	(\$200.00)
MAINTENANCE	(\$1,000.00)
INSURANCE	(\$3,000.00)

NET ANNUAL RENTS: (\$4,200.00)

ESTIMATED REHAB COMPLETION: 4 WEEKS